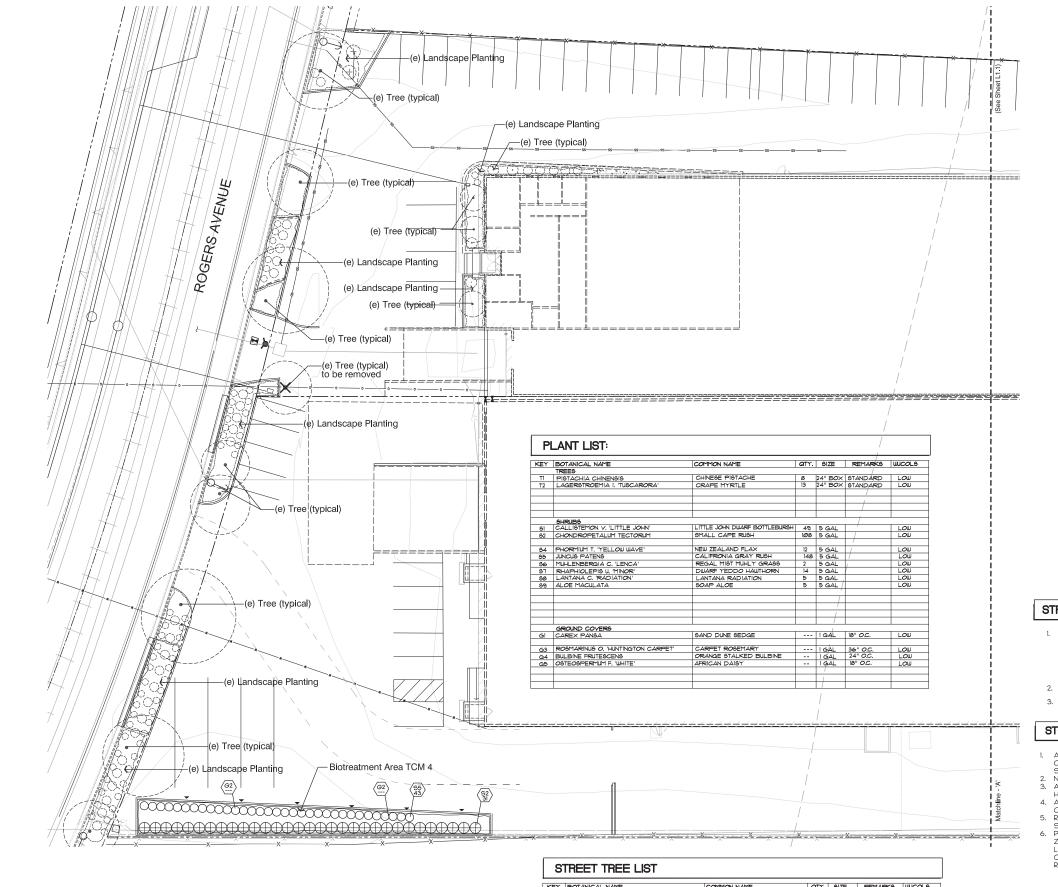
Project Site Plans and Architectural Drawings



BIORETENTION PLANT LIST (C.3 APPDX. 'D')

| KEY | BOTANICAL NAME | COMMON NAME | QTY. | SIZE | REMARKS | WUCOLS |
|-----|----------------|-----------------------|------|---------|----------|--------|
| | TREES | | | | | |
| STI | CHOSEN BY CITY | SEE STREET TREE NOTES | 4 | 24" BOX | STANDARD | |
| | | | | | | |

| | | | | | | | _ | | | | |
|----|-------------------------------------|----------------------|------|-------|---------------|--------|---|------------------------------------|-----------------------------|--------------------------------|-------------|
| KE | Y BOTANICAL NAME | COMMON NAME | QTY. | SIZE | REMARKS | WICOLS | | | TREE REDI AGE | MENT DECLUDE MENTO | |
| | SHRUBS | | | | | | | | TREE REPLACE | MENT REQUIREMENTS | |
| | CHONDROPETALUM TECTORUM | SMALL CAPE RUSH | 1008 | 5 GAL | BANK PLANTING | LOW | L | | | | |
| | | | | | | | | Protected Trees to be Removed Size | Replacement Tree(s) Ratio | Protected Trees to be Removed | Replacement |
| 4 | 5 JUNCUS PATENS | CALIFRONIA GRAY RUSH | 148 | 5 GAI | BANK PLANTING | LOW | I | Flotected frees to be nemoved Size | riopiacement rice(s) riatio | Trotected frees to be fremoved | neplacement |
| | y darked Altake | | 1.0 | J GAL | DAILT DAILING | | | 10ll or lorger | 4:1 for 15 gallon size | 2 | 12 x 15 g |
| | GROUND COVER | | | | | | | 12" - or larger | 2:1 for 24" box size | 3 | 6 x 24' |
| (| 2 BACCHARIS PILUARIS 'PIGEON POINT' | DWARF COYOTE BRUSH | | IGAL | 48" O.C. | LOW | L | | | | |
| | | | | | | | | | | | |



- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
- 2. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
- 3. PLANT GROUNDCOVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
- 4. SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
- THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
- 6. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
- 7. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2% MIN.)
- 8. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
- ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN 3/10TH FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
- O. ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN, AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPARED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MAY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
- 12. PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT -1.800.227.2600

PLANT SYMBOLS



INDICATES PLANT KEY
INDICATES PLANT QUANTITY



EXISTING TREE TO REMAIN



EXISTING SHRUB PLANTING TO REMAIN

STREET TREE NOTES

- I. STREET TREES SHOWN IN THE PUBLIC RIGHT-OF-WAY ARE FOR INFORMATION ONLY. THE PLANNING PERMIT DOES NOT AUTHORIZE THE INSTALLATION OR REMOVAL OF TREES IN THE PUBLIC RIGHT OF WAY. ACTUAL STREET TREE LOCATION WILL BE DETERMINED BY PUBLIC WORKS AT THE IMPLEMENTATION STAGE ON THE PUBLIC IMPROVEMENT PLAN. THE INSTALLATION OR REMOVAL OF THE STREET TREES REQUIRES A PERMIT FROM THE DEPARTMENT OF TRANSPORTATION. THE CITY ARBORIST WILL SPECIET THE SPECIES.

 2. CONTACT THE CITY ARBORIST AT (408) 794-1901 FOR THE DESIGNATED STREET TREE.

 3. OBTAIN A 'DOT' STREET TREE PLANTING PERMIT FOR ANY PROPOSED STREET TREE PLANTINGS.

STORWATER SWALE NOTES

- ALL STORM-WATER SWALE AREAS TO RECEIVE 3 INCH DEPTH OF 1. ALL STORM-WATER SWALE AREAS TO RECEIVE 3 INCH DEPTH OF COMPOSTED, 'NON-FLOATABLE' MILCH DOUBLE IN AREAS BETWEEN STORMWATER TREATMENT PLANTINGS AND SIDE SLOPES.
 2. NON-FLOATABLE MULCH TO BE CERTIFIED BY MULCH AND SOIL COUNCIL.
 3. ALL STORM-WATER SWALE AREAS ARE NOT TO BE TREATED WITH HERBICIDES OR FERTILIZERS.
 4. AVOID COMPACTION OF SWALE OR RETENTION AREAS DURING CONSTRUCTION AND INSTALLATION OF PLANT MATERIAL.
 5. REFER TO CIVIL ENGINEER'S PLANS FOR 'BIO SOIL MEDIA' SOIL SEPECIFICATIONS.

- SPECIFICATIONS.
- SPECIFICATIONS.
 PROJECT WILL NOT LOCATE TREES WITHIN THE BASIN OR BANK PLANTING ZONES OF FLOW-THROUGH PLANTERS BOXES. TREES WILL ALSO NOT BE LOCATED DIRECTLY IN LINE WITH OR NEXT TO STORMWATER INLETS (CURB OPENINGS, DOWNSPOUTS, CHANNEL/GRATES, ETC.) AND WILL OFFSET OR RELOCATE TREES OUTSIDE OF FLOW-THROUGH PLANTER BOXES.

BEFORE EXCAVATING CALL: 81 48-HOURS BEFORE ALL PLANNED WORK OPERATIONS





Landscape Planting Plan

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Issue Date 12,04,2

Project No. --,--Scale 1"=16'-0"

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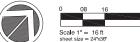
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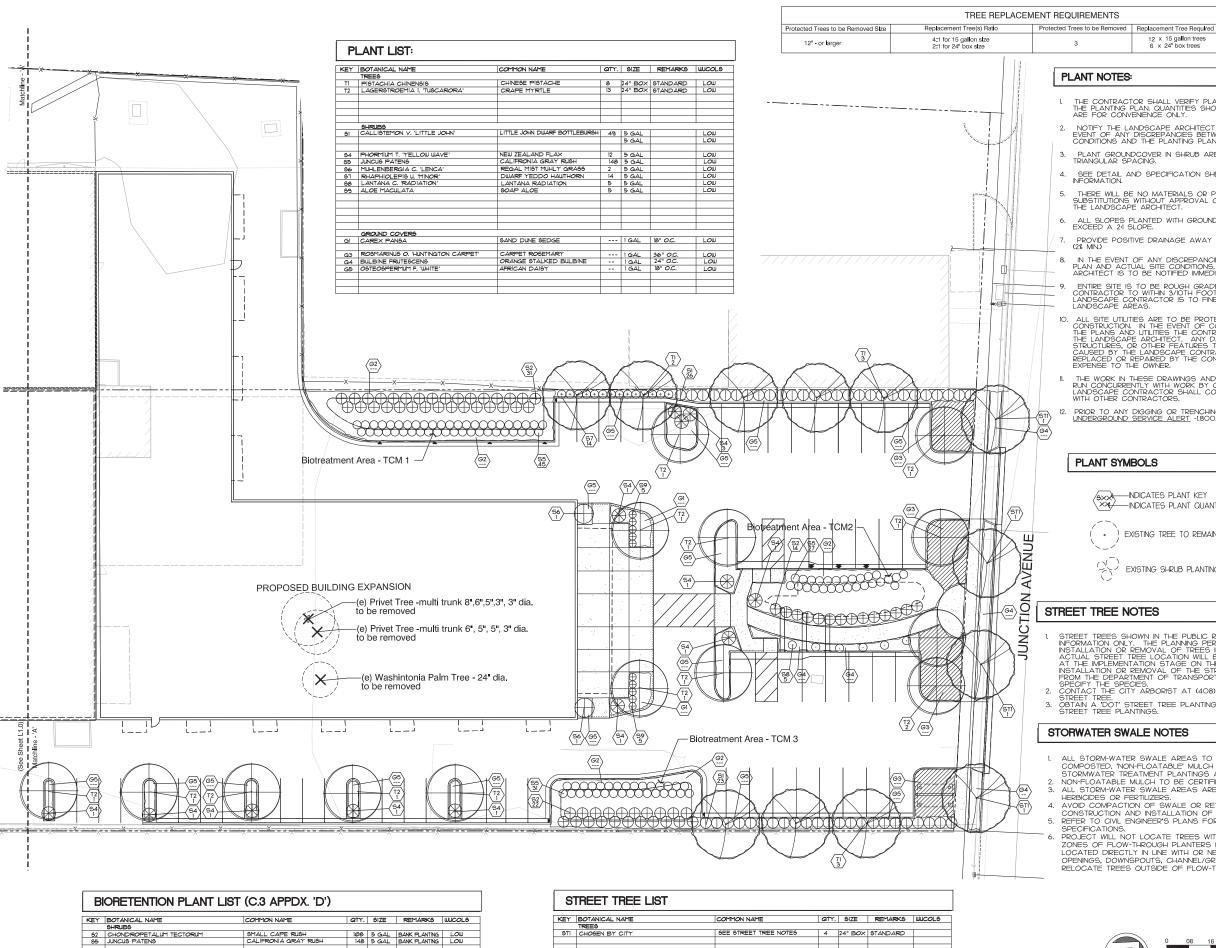
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nt Tree Required Proposed New Trees 0 x 15 ga∎on s**i**ze







6MALL CAPE RUSH CALIFRONIA GRAY RUSH

--- 1 GAL 48" O.C. LOW

GROUND COVER
G2 | BACCHARIS PILLUARIS 'PIGEON POINT' | DWARF COYOTE BRUSH

SEE STREET TREE NOTES

4 24" BOX STANDARD



THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.

12 x 15 gallon trees 6 x 24" box trees

Proposed New Trees

0 x 15 gallon size

21 x 24" box size

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PLANT SYMBOLS

INDICATES PLANT KEY -- INDICATES PLANT QUANTITY

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EXISTING SHRUB PLANTING TO REMAIN

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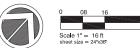
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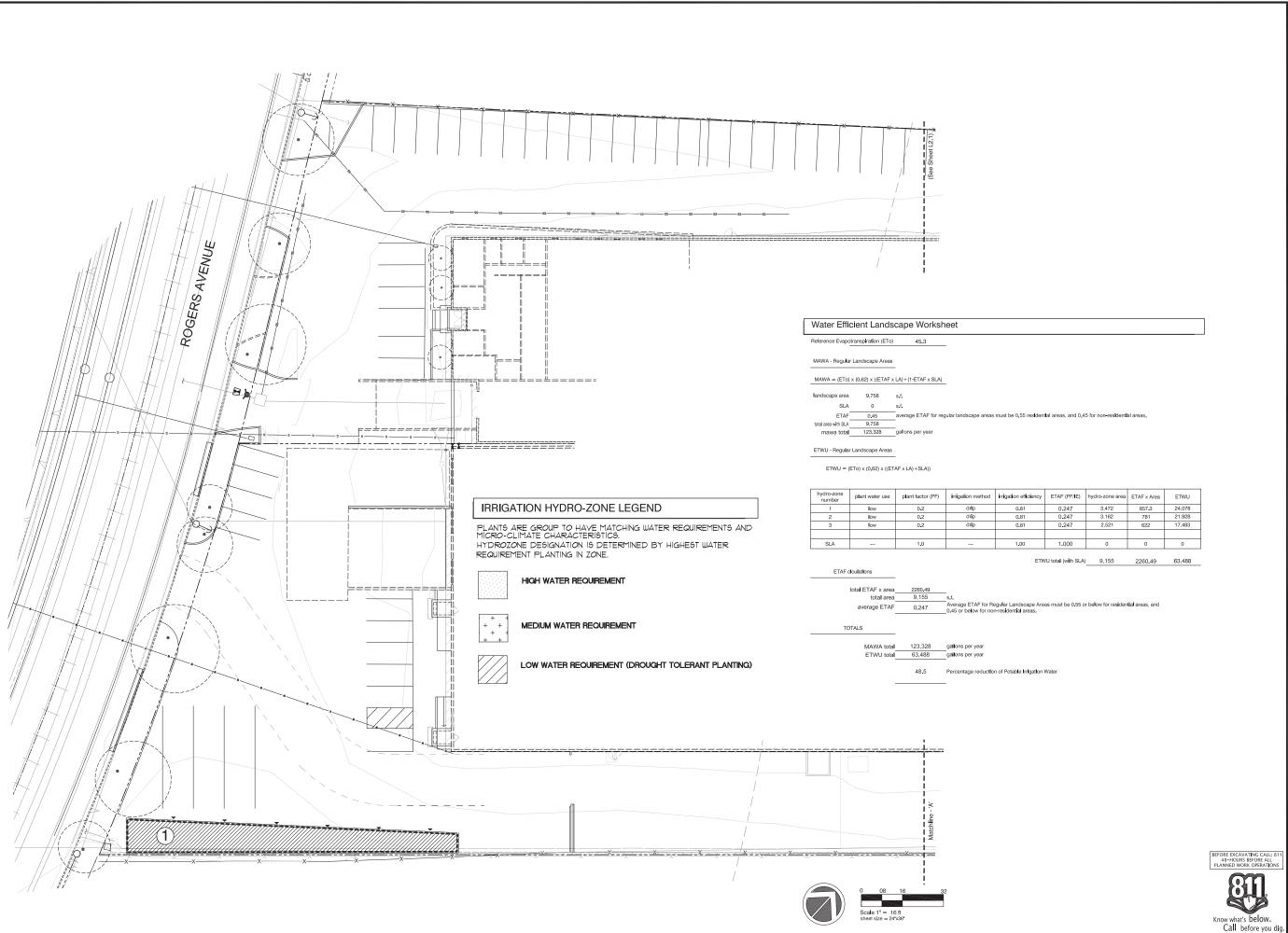
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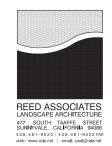
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Landscape Planting Plan





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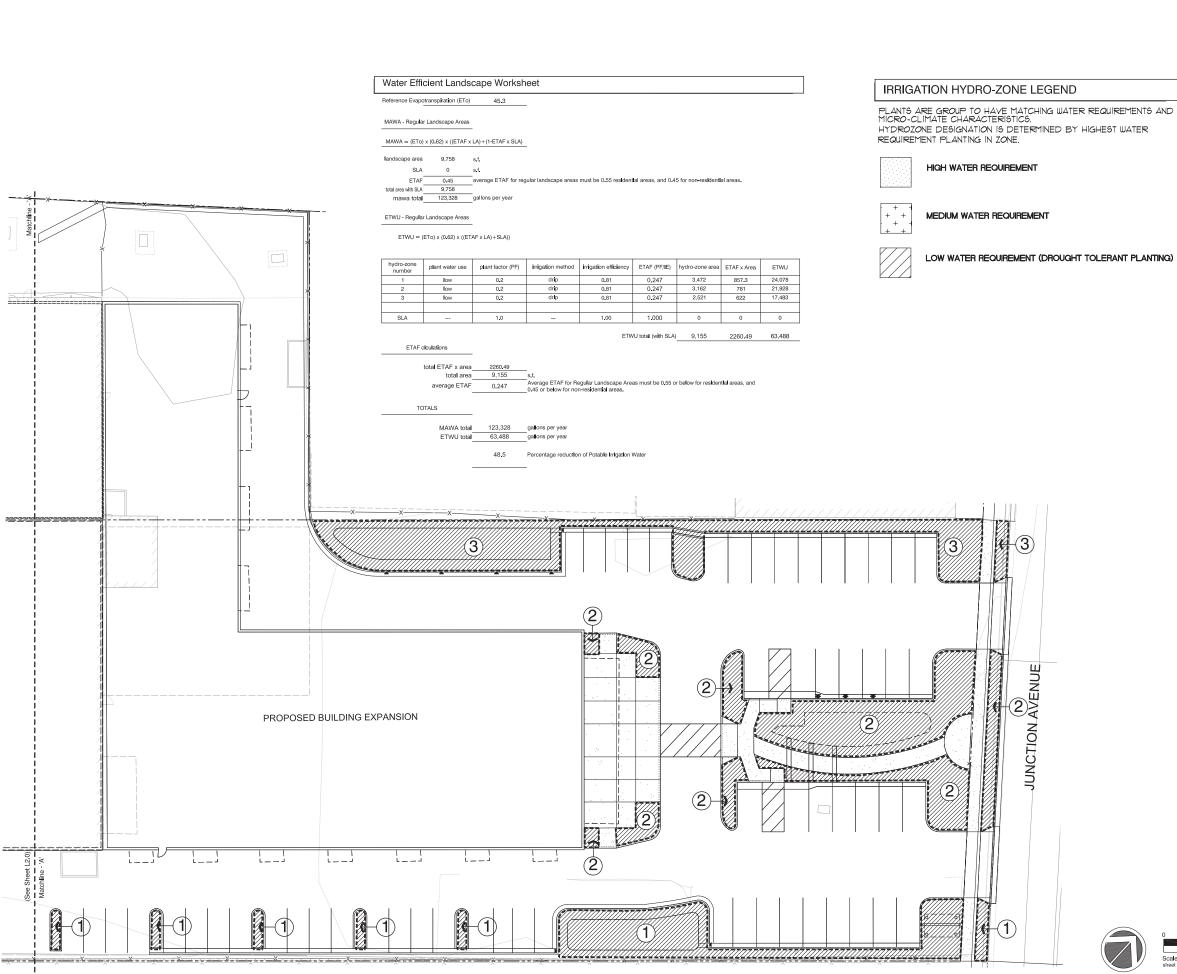
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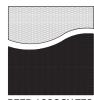


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Landscape Hydrozone Plan

L2.0





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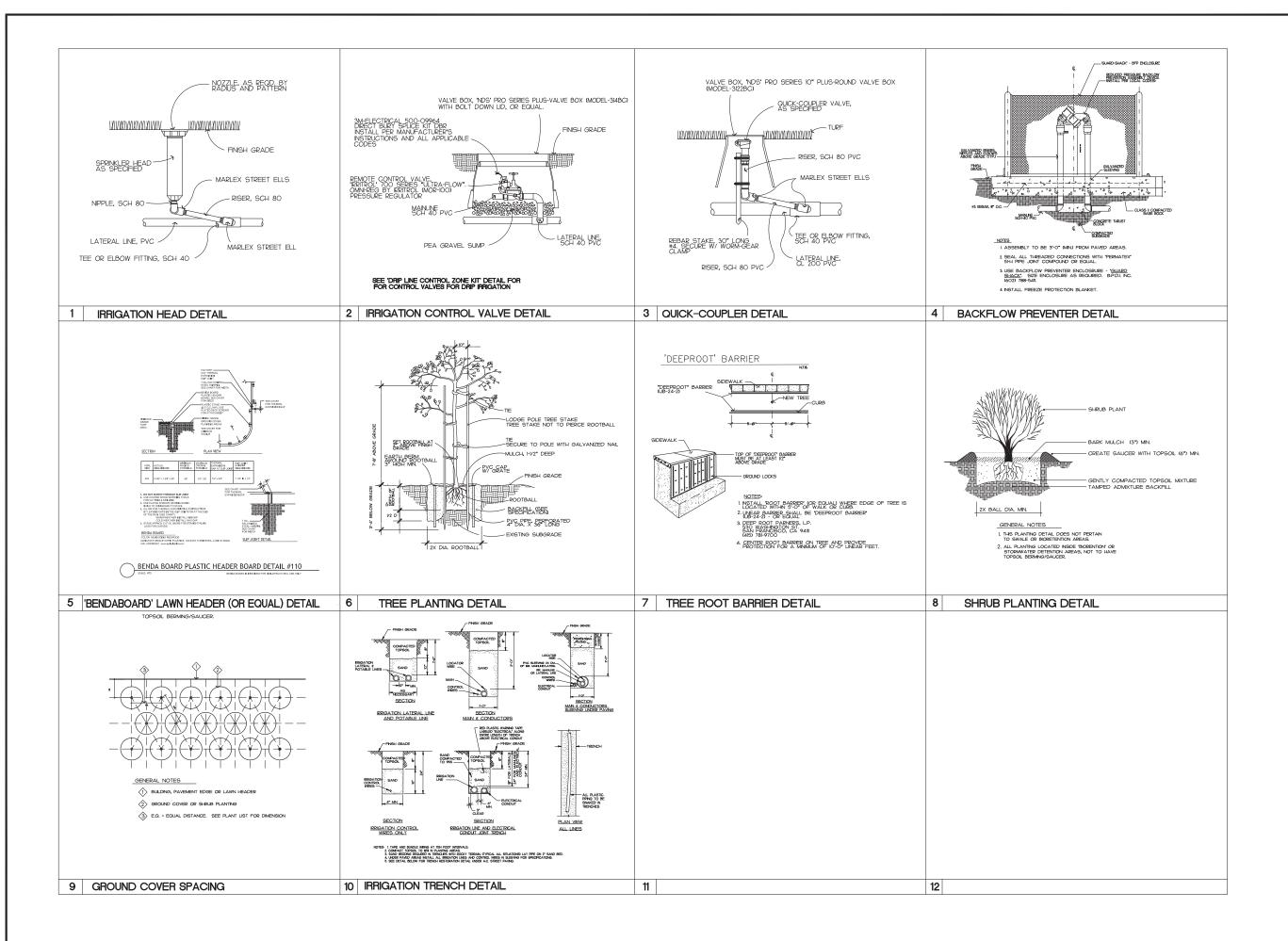


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| Project No. | | | |
| Scale 1"= | :16'-0" | Issue Date | 12.04.20 |

Landscape Hydrozone Plan

Know what's below. Call before you dig.







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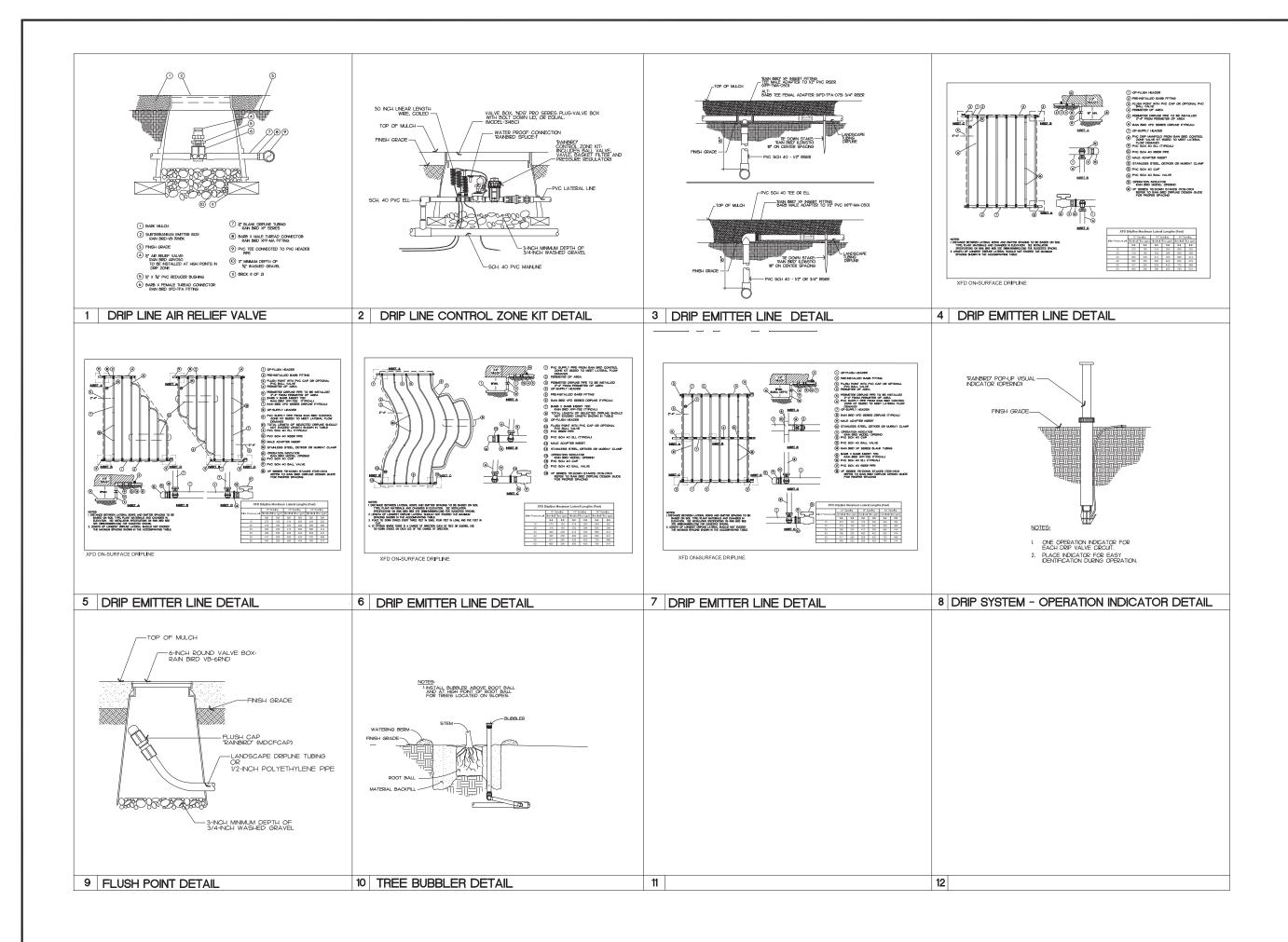
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Landscape Construction Details

L3.0

Sheet of





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Landscape Construction Details

L3.1

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LANDSCAPE SPECIFICATIONS

- THE WORK INCLUDES LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE WORK INDICATED IN DRAWINGS AND DESCRIBED IN SPECIFICATIONS.
 - PERFORM WORK IN ACCORDANCE WITH BEST STANDARDS OF PRACTICE RELATING TO VARIOUS TRADES, AND UNDER CONTINUOUS SUPERVISION OF A COMPONENT FOREMAN CAPABLE OF INTERPRETING DRAWINGS AND SPECIFICATIONS.
- B. PRIOR TO CONSTRUCTION, VERIFY THAT CONTRACT DOCUMENTS REFLECT LATEST REVISIONS INCLUDING PLAN CHECK REQUIREMENTS.
- VERIFY LOCATIONS OF EXISTING UTILITIES WHETHER OR NOT SHOWN IN DRAWINGS. ASSUME RESPONSIBILITY FOR THEIR PROTECTION.
- OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED FOR THE WORK
- BEFORE PROCEDING WITH THE WORK, VERIFY DIMENSIONS AND QUANTITIES.
 MIMEDIATELY INFORM LABOSAPE ARCHITECT OF DISORPERACY BETWEEN DRAWINGS,
 SPECIFICATIONS, AND ACTUAL CONDITIONS. COMMENCE WORK IN AFEAS OF DISCREPANCY
 ONLY AFTER RECEIVING INSTRUCTIONS FROM LANDSCAPE, ARCHITECT.

- A. FURNISH MATERIALS IN QUANTITIES, SIZE, AND MANUFACTURE INDICATED IN DRAWINGS AND SPECIFICATIONS.
- B. FOR A PERIOD OF 30 DAYS AFTER EXECUTION OF CONTRACT, LANDSCAPE ARCHITECT WILL CONSIDER FORMAL REQUESTS FROM CONTRACTOR FOR SUBSTITUTION OF PRODUCTS IN PLACE OF THOSE SPECIFIED ONLY UNDER THESE CONDITIONS.
- 1. WHEN SPECIFIED PRODUCTS ARE NOT AVAILABLE THROUGH NO FAULT OF SUB-CONTRACTOR
- WHEN IT IS CLEARLY SEEN, IN THE JUDGMENT OF OWNER, THAT A SUBSTITUTION WILL BE TO OWNER'S BEST INTERESTS IN TERMS OF TIME, COST, OR OTHER CONSIDERATIONS. SUBMIT A SEPARATE REQUEST FOR EACH SUBSTITUTION. PROVIDE COMPLETE DATA SUBSTANTIANE COMPLANCE OF PROPOSED SUBSTITUTION INCLUDING PRODUCT IDENTIFICATION, MANUFACTURER'S NAME AND ADDRESS, MANUFACTURER'S LITERATURE, AND SAMPLES AS APPLICABLE.
- D. MANUFACTURER'S WARRANTIES WILL NOT RELIEVE SUB-CONTRACTOR OF HIS LIABILITY UNDER TH GUARANTEE, ONLY SUPPLEMENT THE GUARANTEE.
- 1.2 RECORD DRAWINGS
- FURNISH OWNER WITH A SET OF RECORD DRAWINGS (REPRODUCIBLE VELLUMS) OF IRRIGATION SPRINKLER SYSTEM AT CONCLUSION OF THE INSTALLATION. OBTAIN VELLUMS FROM LANDSCAPE ARCHITECT AT COST OF REPRODUCTION PLUS 25
 PERCENT.
- INDICATE IN RECORD DRAWINGS ALL CHANGES MADE TO IRRIGATION SYSTEM DESIGN 1.3 EXTRA MATERIALS
- A. FURNISH OWNER WITH 2 EACH OF THE FOLLOWING MATERIALS FOR EACH TYPE OF VALVE AND SPRINKLER HEAD INSTALLED IN THE SYSTEM:
- VALVE KEYS. SERVICE WRENCHES. QUICK COUPLER VALVE KEYS. HOSE SWIVELS COMPATIBLE WITH QUICK COUPLER VALVES. KEYS TO OPEN AUTOMATIC CONTROL CABINET.

- PRIOR TO INSTALLATION, LAYOUT AND STAKE PRESSURE SUPPLY LINES, LATERAL LINES, AND LOCATION OF SPRINKLER HEADS. OBTAIN APPROVAL LAYOUT FROM LANDSCAPE ARCHITECT.
- A. IF EQUIPMENT IS INCORRECTLY LOCATED WITHOUT APPROVAL, RELOCATE PER DIRECTIONS OF LANDSCAPE ARCHITECT WITHOUT ADDITIONAL COST TO OWNER

- B. ASSUME RESPONSIBILITY FOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS. C. TRENCHING & BACKFILLING
 - EXCAVATION INCLUDES REMOVAL OF WATER AND MATERIALS, OR OBSTRUCTIONS OF ANY NATURE THAT WOULD INTERFERE WITH THE WORK.
 - 2. REMOVE FROM THE SITE EXCESS AND WASTE MATERIAL RESULTING FROM TRENCHING OPERATIONS.
 - 3. DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF DITCH
 - A. LAY PIPE TO AN EVEN GRADE. FOLLOW LAYOUT FOR TRENCHING EXCAVATION INDICATED IN DRAWINGS AND AS NOTED.

 - A. PROVIDE MINIMUM COVER OF 18 INCHES FOR PRESSURE SUPPLY LINES
 - B. PROVIDE MINIMUM COVER OF 18 INCHES FOR ALL NON-PRESSURE LINES INDICATED IN DRAWINGS.
 - C. PROVIDE MINIMUM COVER OF 24 INCHES OVER PIPE UNDER VEHICULAR WAYS.
 D. PROVIDE MINIMUM COVER OF 18 INCHES FOR CONTROL WIRING.

 - E. PROVIDE 3 INCH SAND BACKFILL, ALL SIDES OF PVC PIPE, WHERE SOILS CONTAIN GREATER THAN 50% ROCKS OR OTHER MATERIAL 1/2 INCH OR LARGER IN DIAMETER WITHIN NATIVE BACKFILL MATERIAL.

- COMPACT BACKFILL FOR TRENCHING TO A DRY DENSITY EQUAL TO ADJACENT UNDISTURBED SOIL IN PLANTING AREAS AND TO 90% IN PAVED AREAS.
- CONFORM TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS, OR OTHER IRREGULARITIES.
- 3. PLACE INITIAL BACKFILL ON ALL LINES OF A FINE GRANULAR MATERIAL.
 4. FOREIGN MATTER LARGER THAN 1/2 INCH IN SIZE WILL NOT BE PERMITTED.
- IF SETTLEMENT OCCURS AND ADJUSTMENTS IN PIPE, VALVES, SPRINKLER HEADS, LAWN OR PLANTING, OR OTHER CONSTRUCTION ARE NECESSARY, MAKE REQUIRED ADJUSTMENTS WITHOUT ADDITIONAL COST TO OWNER.

- INSTALL PVC PIPE ALLOWING A SMALL AMOUNT OF EXCESS LENGTH IN THE LINE TO COMPENSATE FOR CONTRACTION OR EXPANSION OF THE PIPE.
- A. ACCOMPLISH EXCESS LENGTH BY "SNAKING" THE LINE IN THE TRENCH DURING TIME OF INSTALLATION.
- HANDLE AND ASSEMBLE PIPE, FITTINGS, AND ACCESSORIES BY SKILLED TRADESMEN USING APPROVED METHODS AND TOOLS. EXERCISE CARE TO PREVENT DAMAGE TO MATERIALS OR EQUIPMENT.
- A. KEEP INTERIOR OF PIPES, FITTINGS, AND ACCESSORIES CLEAN AT ALL TIMES. CLOSE OPENINGS IN PIPING RUNS AT THE END OF WORK EACH DAY TO PREVENT ENTRY OF FOREIGN MATERIALS. B. BENDING OF GALVANIZED STEEL PIPE WILL NOT BE PERMITTED
- 3. PERFORM JOINTING BY COMPETENT TRADESMEN SPECIALLY TRAINED IN THE TYPE OF WORK REQUIRED, USING TOLES AND EQUIPMENT RECOMMENDED BY THE MANUFACTURERS OF THE PIPE, FITTINGS, OF EQUIPMENT
- A. TAKE EVERY PRECAUTION TO SECURE A PERMANENT, WATER—TIGHT JOINT BETWEEN EACH LENGTH OF PIPE.
- B. JOINTING PROCEDURES AND METHODS ADOPTED BY CONTRACTOR SHALL BE IN STRICT ACCORDANCE WITH RECOMMENDATIONS OF MANUFACTURER OF JOINTING MATERIAL USED.

- FURNISH OWNER WITH CUARANTEE THAT IRRIGATION SPRINKLER SYSTEM IS FREE FROM DEFECTS IN MATERIALS AND WORKMAMSHIP, AND THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS, ORDINARY WEAR AND TEAR, UNUSUA ABUSE, OR NOELECT ACCEPTED.

- D. IN THE EVENT OF FAILURE BY CONTRACTOR TO MAKE REPAIRS OR REPLACEMENTS WITHIN A TEN DAYS AFTER RECEIPT OF WRITTEN NOTICE, REPAIRS OR REPLACEMENTS WILL BE MADE BY OTHERS AT THE EXPENSE OF SUB-CONTRACTOR.
- E. WARRANTY PERIOD FOR IRRIGATION SPRINKLER SYSTEM, 1 YEAR FROM DATE OF ACCEPTANCE BY OWNER.
- 1.5 LANDSCAPE MAINTENANCE AND GUARANTEE
- A. PROVIDE MAINTENANCE FOR PLANTING AND IRRIGATION FOR 60 CALENDAR DAYS AFTER STAGE ACCEPTANCE.
- 2. IMMEDIATELY REPLACE DAMAGED, UNHEALTHY, OR DEAD TREES, SHRUBS, AND GROUND COVERS WITH SIZE AND KIND INDICATED IN DRAWINGS.
- PRIOR TO END OF MAINTENANCE PERIOD, APPLY FERTILIZED 'D' (15-2-6) AT THE RATE OF 4 POUNDS PER 1,000 SQUARE FEET UNIFORMLY OVER ALL PLANTING AREAS. UPON COMPLETION OF INITIAL 60 DAY MAINTENANCE PERIOD, NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO DATE OF INITIAL INSPECTION.
- B. GUARANTEE THAT PLANTS AND PLANTING AREAS ARE IN HEALTHY, THRIVING CONDITION FOR AN ADDITIONAL 60 DAYS AFTER INITIAL ACCEPTANCE OF PROJECT BY LANDSCAPE ARCHITECT
- 1. FINAL ACCEPTANCE MAY BE GRANTED AT THIS TIME AS DETERMINED BY LANDSCAPE ARCHITECT.

- 2.1 IRRIGATION SPRINKLER MATERIALS
- A. PVC PLASTIC PIPE AND FITTINGS
 - MAIN LINE (PRESSURE) PIPING, TYPE 1120-1220 SCHEDULE 40, NSF APPROVED, LASCO, JOHNS MANVILLE, OR APPROVED EQUAL.
- A. MAIN LINE PVC PIPE FITTINGS, TYPE 1-11 SCHEDULE 40, NSF APPROVED. LATERAL (NON-PRESSURE) LINE PIPING, TYPE 1120-1220 SCHEDULE 40, CLASS 200, NSF APPROVED, LASCO, JOHNS MANVILLE, OR APPROVED EQUAL.
- A. LATERAL PVC PIPE FITTINGS, TYPE 1-11 SCHEDULE 40, NSF APPROVED, LASCO, SLOANS, OR APPROVED EQUAL.
- 3. SOLVENT, TYPE APPROVED BY MANUFACTURER OF PIPE AND FITTINGS. USE SCHEDULE 80 PVC THREADED NIPPLES IN RISER ASSEMBLIES.
- USE ONLY PVC PLASTIC PIPE FREE FROM BLISTERS, INTERNAL STRIATIONS, DENTS, WRINKLES, CRACKS, HOLES, FOREIGN MATERIALS, SMOOTH INTERIOR WALL WITH A GLASS ILIKE APPEARANCE
- CONTINUOUSLY AND PERMANENTLY MARK EACH PIPE WITH MANUFACTURER'S NAME, KIND OF PIPE, MATERIAL, SIZE SCHEDULE OR TYPE, AND MANUFACTURER'S QUALITY CONTROL IDENTIFICATION.
- B. GALVANIZED PIPE AND FITTINGS
 - WHERE INDICATED IN DRAWINGS, USE ASA SCHEDULE 40 MILD STEEL SCREWED PIPE, GALVANIZED, WITH MEDIUM GALVANIZED SCREWED BEADED MALLEABLE IRON EITHINGS
 - A. GALVANIZED COUPLINGS MAY BE MERCHANT COUPLING

 - D. AFTER CUTTING, REAM OUT ENDS TO THE FULL INSIDE DIAMETER OF THE PIPE . IN CHANGING PIPE DEPTHS, USE 450 ELBOWS.
 - INSTALL TURF HEADS, WHERE ADJACENT TO FIXED OBJECTS SUCH AS HEADERBOARDS CURBS, OR MOWING STRIPS, SO POWERED EDGING TOOLS CAN PASS BETWEEN TURF HEAD AND FIXED OBJECT WITHOUT DIFFICULTY.
- LOCATE SHRUB HEADS MINIMUM 12 INCHES FROM BACK OF CURBS AND EDGE OF WALKWAYS WHEN SHRUB HEAD IS MOUNTED ABOVE GRADE ON A RISER.
 - INSTALL ELECTRIC, NORMALLY CLOSED ANGLE CONTROL VALVES AS INDICATED IN DRAWINGS AND AS SPECIFIED BY MANUFACTURER.
 - SET VALVES IN VERTICAL POSITION, HOUSED IN AMETEK OR EQUAL VALVE BOX WITH REMOVABLE COVER, FLUSH WITH FINISHED GRADE. WHEREVER POSSIBLE, INSTALL IN A SHRIJE APFA
- H. ELECTRICAL WORK
 - PERFORM ELECTRICAL WORK IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, THE STATE OF CALIFORNIA ELECTRICAL SAFETY ORDERS, OTHER APPLICABLE STATE AND LOCAL CODES AND REGULATIONS. 2. ASSUME RESPONSIBILITY FOR THE COORDINATION OF ALL ELECTRICAL SERVICE CONNECTIONS TO THE CONTROLLER.
- FLUSH PIPES BY REMOVING HEADS AND OPERATING THE SYSTEM AT FULL PRESSURE UNTIL ALL RUST, SCALE, SAND, ETC., IS REMOVED.
- 2. TEST PIPING UNDER FULL PRESSURE, WITH RISERS CAPPED FOR A PERIOD OF TWO HOURS.
- CORRECT ANY LEAKAGE DISCOVERED DURING TESTS.
- 4. REPEAT TESTS UNTIL SATISFACTORY
- A. TO DETERMINE THAT THEY FUNCTION ACCORDING TO MANUFACTURER'S DATA, AND B. TO DETERMINE THAT THE INSTALLATION WILL PROVIDE DESIGN COVERAGE.
- ALLOW OR CAUSE WORK TO BE COVERED UP OR ENCLOSED ONLY AFTER IT HAS BEEN INSPECTED, TESTED, AND APPROVED BY LANDSCAPE ARCHITECT.
- A. SHOULD ANY WORK BE CLOSED OR COVERED UP BEFORE INSPECTION AND TESTS ARE SATISFACTORILY COMPLETED, UNCOVER THE WORK, AND AFTER IT HAS BEEN INSPECIE, IESTED, AND APPROVED, MAKE ALL REPARK WITH MATERIALS AS MAY BE NECESSARY TO RESTORE DISTURBED WORK TO ITS ORIGINAL AND PROPER CONDITION WITHOUT ADDITIONAL COST TO OWNER.

- 2. ROUGH GRADE EARTHEN MOUNDS TO CONTOURS INDICATED IN DRAWINGS. CONSTRUCT MOUNDS WITH ENOUGH EXCESS MATERIAL TO ALLOW FOR FUTURE SETTLEMENT.
- A. FINAL LOCATION OF MOUNDS SHALL NOT CONFLICT WITH EXISTING UTILITIES, UTILITY BOXES, VALVE BOXES, ETC.
- 4. NO COMPACTION WILL BE ALLOWED, EXCEPT FOR NORMAL GRADING AND SHAPING OPERATIONS.
- UPON COMPLETION OF GRADING OPERATIONS, SPREAD EXCESS MATERIAL IN AREAS DIRECTED BY LANDSCAPE ARCHITECT.

B. SOIL CONDITIONS

1. CULTIVATE PLANTED AREAS TO A LIGHT AND FRIABLE CONSISTENCY. UNIFORMLY TILL THE

- DIRECT BURIAL REMOTE CONTROL WIRES, U.L. APPROVED TYPE U.F. MINIMUM OF 4/64 INCH VINYL INSULATION. CONSULT VALVE MANUFACTURER'S CURRENT WIRE SIZING CHART FOR REQUIRED WIRE SIZES.
- 2. COMMON RETURN WIRE = WHITE, PILOT WIRE = RED, ORANGE, OR BLACK
- MAKE SPLICES WITH "SCOTCH LOK" NO. 3577 CONNECTOR SEALING PACKS, OR APPROVED FOLIAL.
- D. SPRINKLER HEADS, REMOTE CONTROL VALVES, AUTOMATIC CONTROLLER, QUICK COUPLER

 1. TYPE, SIZE, AND LOCATION INDICATED IN DRAWINGS.
- LOCATE REMOTE CONTROL VALVES AND QUICK COUPLERS A MAXIMUM OF 12 INCHES FROM CURB, WALK, OR HEADERBOARD.

- BACKFLOW PREVENTERS AS INDICATED IN DRAWINGS OR AS APPROVED BY LOCAL GOVERNING BODY.
- 2. DO NOT LOCATE IN LAWN AREAS.
- SCREEN UNIT WITH PLANT MATERIAL SHOWN ON PLANTING PLAN IN LOCATION OF BACKFLOW PREVENTER OR ELSEWHERE ON SITE WHEN DIRECTED BY LANDSCAPE ARCHITECT
- 4. AVOID USING PVC PIPING IN BACKFLOW PREVENTER ASSEMBLIES.
- CONTROL VALVE BOXES, AMETEK NO. 10-70-00 WITH GREEN COVER LID NO. 10-173-004, OR EQUAL. PROVIDE EXTENSIONS IF REQUIRED.

- EXISTING SURFACE SOIL UNLESS OTHERWISE INDICATED IN DRAWINGS, FREE FROM SUBSOIL, REFUSE, ROOTS, HEAVY OR STIFF CLAY, ROCKS, STICKS, BRUSH OR OTHER DELETERIOUS MATERIALS.
- 2. NATIVE SOIL, MATERIAL EXCAVATED FROM PLANTING HOLES, FREE FROM ROCK OVER 1/2 INCH IN DIAMETER.
- 3. IMPORTED SOIL, IF REQUIRED, SANDY LOAM TEXTURE
- SUBMIT SOIL SAMPLES AND ANALYSIS OF IMPORTED SOIL TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO DELIVERY TO PROJECT SITE.
- B. SHOULD LANDSCAPE ARCHITECT REJECT ANY PORTION OF DELIVERED SOIL, FOR ANY REASON, SELECT SOIL MATERIAL FROM A DIFFERENT SOURCE AND RESUBBIT TO LANDSCAPE ARCHITECT FOR APPROVAL WITHOUT ADDITIONAL COST TO OWNER.

B. ORGANIC FERTILIZERS AND SOIL AMENDMENTS

- COMMERCIAL GRADE ORGANIC FERTILIZERS AND SOIL AMENDMENTS, UNIFORM IN COMPOSITION DRY AND FREE-FLOWING, DELIVERED TO SITE IN ORIGINAL, UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS.
- 2. MATERIAL WHICH BECOMES CAKED OR OTHERWISE DAMAGED, MAKING IT UNSUITABLE FOR USE, WILL BE REJECTED.
- A. FERTILIZER 'A': ORGANIC FERTILIZER FOR GENERAL SOIL FERTILITY IMPROVEMENT IN ALL TURF AND PLANTING AREAS SHALL BE GRANULATED/PELLETIZED TYPE HAVING A NG-P20-420 FORMULA
- B. FERTILIZER 'B': ORGANIC FERTILIZER TO BE APPLIED TO LAWN AREAS PRIOR TO SEEDING OR SODDING SHALL BE GRANULATED/PELLETIZED TYPE HAVING N6-P2-MC (WITH 1% IRON).
- C. FERTILIZER 'C': ORGANIC FERTILIZER TO BE INCORPORATED IN EACH PLANT PIT SHALL BE A PLANT TAB WITH FORMULA N20-P10-K5, SUCH AS GRO-POWER.

FOLLOWING MATERIAL, PER 1,000 SQUARE FEET, INTO THE TOP 6 INCHES OF SOIL, USING A ROTOTILLER OR SIMILAR MACHINE, THEN THOROUGHLY WATER.

PREPARED SOIL MIX FOR BACKFILL IN PITS FOR TREES, VINES, AND SHRUBS, CONSISTING OF THE FOLLOWING:

6 CU. YDS. - RECYCLED COMPOST MATERIAL (SOIL AMENDMENT DRGANIC FERTILIZER 'A' SOIL SULPHER

1/3 YD. - RECYCLED COMPOST MATERIAL (SOIL AMENDMENT)
2/3 YD. - NATIVE SOIL
1 LB. - IRON SULPHATE

AND ORGANIC FERTILIZER 'C' AS FOLLOWS (GRO-POWER TABS OR EQUAL)

CONDUCT SOIL PREPARATION AND PLANTING OPERATIONS ONLY UNDER FAVORABLE WEATHER CONDITIONS. SOIL SHALL NOT BE WORKED WHEN EXCESSIVELY DRY OR WET

A. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO STOP WORK TAKING PLACE DURING A PERIOD WHEN CONDITIONS ARE CONSIDERED DETRIMENTAL TO SOIL STRUCTURE OR PLANT GROWTH.

A. LEVEL SIZE OF PITS SHALL BE 2 TIMES DIAMETER OF ROOT BALL, AND ONE—HALF AGAIN AS DEEP AS THE DEPTH OF ROOT BALL.

2. BACKFILL PITS WITH "PREPARED SOIL" TO THE BOTTOM OF THE ROOT BALL. THEN SET THE PLANT IN AN UPRIGHT POSITION IN CENTER OF HOLE. BACKFILL SPACE AROUND IT

A. WHEN THE BACKFILL AROUND THE PLANT IS APPROXIMATELY TWO—THIRDS COMPLETED, THOROUGHLY WATER. BACKFILL COMPLETE TO THE GRADE OF THE SUPPOLINDING APPA

B. THE CROWN OF THE PLANT SHALL BE 1-1/2 INCHES ABOVE (MINIMUM) FINISHED GRADE.

PREPARE A SOIL RING AT LEAST 3 INCHES HIGH AND AS WIDE AS ROOT BALL AROUND EACH PLANT (NOT IN A TURF AREA) TO RETAIN WATER.

B. REMOVE TURF IN A 24 INCH DIAMETER RING AROUND EACH TREE BASE IN TURF

PLANTING SHALL TAKE PLACE IN THE EXISTING PREPARED MOIST AND FRIABLE SOIL, NEVER DRY OR WET AND SOGGY.

A. THE MOIST CONDITION SHALL EXTEND TO THE FULL DEPTH OF CULTIVATION 2. SPACE GROUND COVER PLANTS AS INDICATED IN DRAWINGS AND IN THE PLANT LIST.

3. PLANT IN EVENLY SPACED ROWS WITH STAGGERED TRIANGULAR SPACING AND AROUND SHRUBS AND TREES TO WITHIN ONE FOOT.

REMOVE RIDGES AND DEPRESSIONS. AREAS SHALL BE SMOOTH, CONTINUOUS, FIRM PLANES THAT ENSURE PROPER SURFACE DRAINAGE.

AVOID ADDITIONAL COMPACTION OF THE SOILS AFTER TREATMENT. DO NOT PERMIT VEHICULAR OR EQUIPMENT TRAFFIC OVER AREAS.

REMOVE ROCKS, SOIL LUMPS, AND DELETERIOUS MATERIALS LARGER THAN 1 INCH, RAKE AND COMPACT AREAS WITH A 200 POUND ROLLER.

4. NO GROUND COVER SHALL BE PLANTED LESS THAN ONE-HALF OF THE SPECIFIED SPACING FROM ANY CURB OR WALKWAY.

AFTER ALL SOIL AMENDMENT AND ORGANIC FERTILIZERS HAVE BEEN APPLIED AND CULTIVATED INTO SOIL, FINE GRADE ALL AREAS.

B. SOIL AT SIDES AND BOTTOMS SHALL BE LOOSENED BY SCARIFYING TO ENSURE ROOT PENETRATION. AVOID SMOOTH CIRCULAR SIDES.

2. CULTIVATE EXISTING PLANTING AREAS WITH HAND TOOLS.

1 GAL: 1—TAB 5 GAL: 2—TABS 15 GAL: 4—TABS 6—8 TABS FOR BOXED MATERIAL

1. DIG PITS FOR PLANTS SQUARE PER DETAIL IN DRAWINGS

C. PLANTING TREES, SHRUBS, & VINES

D. PLANTING GROUND COVERS

- E. SOIL AMENDMENT: IMPORT TOPSOIL TO MEET ORGANIC MATTER CONTENT OF A MIN. OF 3.5% BY DRY WEIGHT OR 1 INCH OF COMPOST.

 "OPTION 1" --REQUIRE IMPORT TOPSOIL TO MEET ORGANIC MATTER CONTENT OF A MIN. OF 3.5% BY DRY WEIGHT. *OPTION 2" — SUBMIT SOLIS REPORT THAT IDENTIFIES EXISTING TOPSOIL MEETS ORGANIC MATTER OF CONTENT OF 3.5% BY DRY WEIGHT OR GREATER. RECYCLED COMPOST MATERIAL FROM A PROCESSOR THAT PARTICIPATES IN THE U.S. COMPOSTING COUNCIL'S STANDARD TESTING ASSURANCE PROGRAM

- C. WOOD CHIP MULCH
- ALL PLANTED AREAS, EXCEPT TURF, SHALL RECEIVE A TOP DRESSING OF MULCH CONSISTING OF RECYCLED, NON-DYED WOOD CHIPS OR FIR CHIPS, MEDIAN GRIND 3/8 TO TO 3/4" DIAMETER. SHREDDED BARK IS UNACCEPTABLE.

D. PLANT MATERIAL CONFORM PLANT MATERIAL, INDICATED IN DRAWINGS BY THE LISTED NAMES, TO "STANDARD PLANT NAMES," SECOND EDITION. EXCEPT FOR NAMES NOT INCLUDED, FOLLOW THE ESTABLISHED CUSTOMS OF THE NURSERY TRADE.

- ALL PLANTS SHALL BE TRUE TO NAME. TAG ONE OF EACH BUNDLE OR LOT WITH THE NAME AND SIZE OF THE PLANT, IN ACCORDANCE WITH STANDARDS OF PRACTICE RECOMMENDED BY AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL MEET THE SPECIFICATIONS OF FEDERAL, STATE, AND COUNTY LAWS, REQUIRING INSPECTION FOR PLANT DISEASES AND INSECT INFESTATIONS
- 4. PLANTS SHALL BE SYMMETRICAL TYPICAL FOR VARIETY AND SPECIES, SOUND, HEALTHY VIGOROUS, FREE FROM PLANT DISEASES, INSECT PESTS, OR OTHER EGGS, WITH HEALTHY, NORMAL ROOT SYSTEMS, WELL FILLING THEIR CONTAINERS, BUT NOT TO THE POINT OF BEING ROOT BOUND.
- PROVIDE ONLY PLANTS WITH STRAIGHT, SINGLE TRUNKS, UNLESS OTHERWISE INDICATED IN DRAWINGS.
- 7. THOSE SPECIFIED TO BE MULTI-TRUNK SHALL HAVE AT LEAST THREE MAIN LEADERS FROM THE BASE.
- PLANTS THAT HAVE ENCIRCLING ROOTS, NOT ROOT BOUND, SHALL HAVE ROOTBALLS LIGHTLY SLASHED ON A MINIMUM OF 3 SIDES TO STOP ENCIRCLING ROOT GROWTH.
- THE HEIGHT AND SPREAD OF PLANT MATERIALS SHALL BE MEASURED WITH BRANCHES IN THEIR NORMAL POSITION. MEASURE SIZES OF PLANTS ON THE PLANT LIST.
- A. 5 AND 15 GALLON CAN CONTAINER STOCK SHALL HAVE BEEN GROWN IN THAT CONTAINER NOT LESS THAN SIX (6) MONTHS, BUT SHALL NOT HAVE BEEN OVERGROWN IN THE CONTAINERS SO AS TO HAVE BECOME ROOT BOUND. B. 15 GALLON CAN CONTAINER STOCK SHALL HAVE A PLANTED HEIGHT OF 6 FEET WITH 1 INCH CALIPER TRUNK.

- PERFORM INSPECTIONS OF CONSTRUCTION FOR THE FOLLOWING PARTS OF THE WORKS
- INSPECTION UPON COMPLETION OF PRELIMINARY FINISH GRADING AND IRRIGATION SPRINKLER SYSTEM.
- INITIAL INSPECTION UPON COMPLETION OF PLANTING AND TREE STAKING, PRIOR TO COMMENCEMENT OF MAINTENANCE PERIOD.
- FINAL INSPECTION AT CONCLUSION OF ADDITIONAL 60 DAY LANDSCAPE MAINTENANCE PERIOD.
- LISTED INSPECTIONS WILL BE MADE BY LANDSCAPE ARCHITECT OR AN AUTHORIZED REPRESENTATIVE. REQUEST INSPECTION BY LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE OF TIME INSPECTION IS REQUIRED.

- 3.1 IRRIGATION SPRINKLER SYSTEM
- A. PREPARATION
- - SPREAD 20 POUNDS PER 1,000 SQUARE FEET OF FERTILIZER 'B' ON SOIL SURFACES PRIOR TO SODDING. THEN NEATLY INSTALL SOD SLABS.
 - C. LIGHTLY WATER AND ROLL ENTIRE AREAS. THEN HEAVILY WATER TO ASSURE WATER PENETRATION OF AT LEAST A DEPTH OF 8 INCHES.

- F. DO NOT MOW UNTIL TURF IS 2-1/2 INCHES HIGH, AND FOR INITIAL MOWING DO NOT MOW LOWER THAN 1-1/2 INCHES. REMOVE ALL CLIPPINGS.
- F. WEED CONTROL, PEST CONTROL, & MULCHING WEED CONTROL MATERIAL SHALL BE A PRE-EMERGENT HERBICIDE, TREFLUROUN (TREFLAN)
 OF DIPHENAMIN (DYMID OF ENUIE) OR APPROVED EQUAL, APPLIED ON PLANTED
 AREAS, DON'T APPLY TO TURE DEVELOPED AREAS.
 NOTE: IN CITIES AND FOR PROJECTS THAT DO NOT ALLOW FOR SYNTHETIC PRE-EMERGENT
 USE A CORN GLUTEN MEAL. PRODUCT.
- CONTROL OF PESTS INCLUDES, BUT IS NOT LIMITED TO RODENTS, RABBITS, INSECTS, DEER, ETC.
- SPREAD BARK CHIP MULCH EVENLY OVER ENTIRE PLANTED AREA, EXCEPT TURF DEVELOPED AREAS, TO A MINIMUM DEPTH OF 3".
- UPON COMPLETION OF PLANTING WORK, NOTIFY LANDSCAPE ARCHITECT THAT PROJECT IS READY FOR INSPECTION.
- 4. STAGE ACCEPTANCE WILL BE GIVEN ONLY WHEN ALL WORK IS CORRECT AND COMPLETE.

- UPON COMPLETION OF WORK, REMOVE EXCESS MATERIALS, RUBBISH, DEBRIS, AND SUB-CONTRACTOR'S CONSTRUCTION AND INSTALLATION EQUIPMENT FROM THE PREMISES.
- FINAL INSPECTION OF THE WORK WILL BE MADE BY LANDSCAPE ARCHITECT IN THE PRESENCE OF THE SUB-CONTRACTOR WHEN WORK IS COMPLETED. NOTIFICATION SHALL BE MADE BY THE CONTRACTOR 48 HOURS IN ADVANCE OF SUCH INSPECTION.

A. IN THE EVENT OF SUCH COMPACTION, CONTRACTOR WILL BE REQUIRED TO RECULTIVATE COMPACTED AREAS. SODDING: RAKE AREAS TO FINISH GRADE ELEVATION TO 1 INCH LOWER THAN ADJACENT PAVING TO ACCOMMODATE SOD THICKNESS.

- B. STAGGER END JOINTS, TIGHTLY JOINTED WITH NO VISIBLE SPACES
- SEEDING: APPLY FERTILIZER 'B' TO FINISH GRADED SURFACES AT THE RATE OF 4 POUNDS PER 1,000 SQUARE FEET. A. USE ONLY SEED THAT IS WEED FREE, FRESH, RECLEANED, GRADE A, NEW CROP CONSISTING OF THE PERCENTAGE OF MIX AS DESCRIBED IN DRAWINGS.
- B. LABEL SEED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT PRESENTLY IN EFFECT AND SHALL BE DELIVERED TO PROJECT SITE IN BAGS BEARING DEALER'S LABEL AND GLIBBANTEF
- C. SOW SEED IN 2 DIRECTIONS AT A TOTAL COMBINED RATE OF 10 POUNDS PER 1,000 SQUARE FEET.
- D. SOW SEED BY EXPERIENCED PERSONNEL AT A TIME WHEN LITTLE OR NO WIND IS BLOWING.
- FERTILIZING DURING MAINTENANCE: APPLY FERTILIZER 'D', 30 CALENDAR DAYS AFTER PLANTING, AT THE RATE OF 5 POUNDS PER 1,000 SQUARE FEET.
- CONSIDER IT PART OF CONTRACTOR'S WORK TO CONTROL ON—SITE OR NEARBY PESTS THAT ARE DISTURBING THE CONDITION OF LANDSCAPE IMPROVEMENTS.
- REPAIR DAMAGE THAT OCCURS TO THE ORIGINAL CONDITION OF IMPROVEMENTS, INCLUDING REPLACEMENT OF PLANT MATERIAL WHEN REQUIRED, WITHOUT ADDITIONAL COST TO OWNER.
- G. PRELIMINARY INSPECTION AND STAGE ACCEPTANCE
 - UPON INSPECTION, IF LANDSCAPE ARCHITECT FINDS ENTIRE PROJECT COMPLETE AND IN COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS, STAGE ACCEPTANCE WILL BE CRANTED.
 - IF ASPECTS OF PROJECT ARE INCOMPLETE OR IMPROPERLY INSTALLED, CONTRACTOR WILL BE NOTIFIED AND HAVE 5 WORKING DAYS IN WHICH TO CORRECT OR COMPLETE THE WORK
- THE STAGE ACCEPTANCE BY LANDSCAPE ARCHITECT OF LANDSCAPE PROJECT WILL ESTABLISH THE BEGINNING OF PLANT MAINTENANCE PERIOD.

Specifications

Landscape

Issue Date 12 04

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1. BUILDING CODES:

ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES INCLUDING 2019 CALIFORNIA BUILDING & RESIDENTIAL CODES, 2019 CALIFORNIA MECHANICAL, PLUMBING & ELECTRICAL CODES, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA GREEN BUILDING CODE, AND CITY OF SAN JOSE ORDINANCES APPLICABLE TO THIS PROJECT.

2. SITE CONDITIONS:

CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM/HERSELF WITH ALL EXISTING LIMITATIONS. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF SAME TYPE AND CHARACTER AS THAT SHOWN FOR SIMILAR CONDITIONS. IF DISCREPANCIES, ERRORS OR OMISSIONS ARE DISCOVERED IN THESE DRAWINGS, NOTIFY THE ARCHITECT BEFORE THE PROCEEDING WITH THE WORK.

3. **DIMENSIONS**:

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DIMENSIONS ARE TO THE ROUGH FRAME UNLESS OTHERWISE NOTED. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND/ OR SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

CONTRACTOR SHALL EXECUTE DEMOLITION WORK TO ENSURE THE SAFETY OF PERSONS AND ADJACENT PROPERTY FROM DAMAGE OF ANY KIND IN CONNECTION WITH THIS WORK. WHERE EXISTING CONSTRUCTION IS CUT, DAMAGED OR REMODELED, PATCH OR REPLACE WITH MATERIALS WHICH MATCH THE KIND, QUALITY AND PERFORMANCE OF ADJACENT SURFACES.

THE CONTRACTOR SHALL INFORM THE OWNER AND ARCHITECT OF THE CONSTRUCTION SCHEDULE PRIOR TO STARTING WORK. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE DISRUPTION TO NEIGHBORS AND OCCUPANTS DURING CONSTRUCTION.

6. CHANGE ORDERS:

ALL CHANGE ORDERS SHALL BE AGREED TO AND IN WRITING PRIOR TO EXECUTION OF

7. CLEANUP:

THE CONTRACTOR SHALL REMOVE THE CONSTRUCTION DEBRIS AT THE END OF THE JOB AND DISPOSE OF IT LEGALLY. CLEAN ALL NEW WINDOWS AND LEAVE THE JOB BROOM

8. WARRANTY:

CONTRACTOR SHALL WARRANT ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OR FROM THE COMMENCEMENT OF SPECIFIC WARRANTIES, AND MAKE CORRECTIONS TO THE WORK DURING THESE

CITY OF SAN JOSE VEHICLE PARKING REQUIREMENTS

| Land Use | Vehicle Parking Code Requirement | | Bicycle Parking Required/Provided |
|-------------------------|---|---|---------------------------------------|
| Warehouse retail | space per 2,000square feet | 14,000 sf requires minimum 7 spaces andmaximum 56 spaces | 1 space per 10 full-time employees |
| | floor area and a maximum of one parking space per twohundred fifty square feet of floor area | | |
| Warehouse (proposed) | A minimum of 5 spacesfor warehouses with a total gross floor area between 5,000 square feet and 25,000 square feet. | 6,000 square feet of new floor area would require a total of 5 spaces | 1 space per 10 full-time employees |
| Warehouse (Existing) | For warehouses in excess of 25,000 squarefeet of total gross floor area, a minimum of 1 space per 5,000 square feet of gross floor area | 71,608 square feet of total existing floor area would require 15 spaces | 1 space per 10 full-time employees |
| Total Spaces | | 76 vehicle parking spacesare required | 12 +/- bicycle spaces |

SEE PARKING TABLE ON SITE PLAN A1.1 FOR ADDITIONAL INFORMATION.

PROJECT TEAM OWNER:

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TRAFFIC ANALYSIS

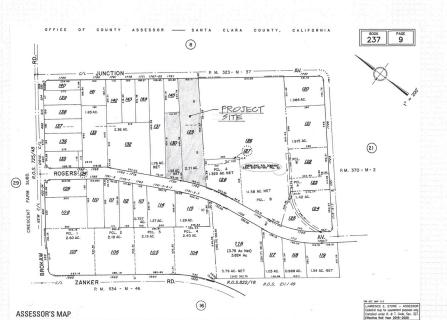
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VIEW FROM ROGERS AVENUE - EXISTING CONDITIONS





SCOPE OF WORK

NEW "GRANITE EXPO" SHOWROOM 'WHOLESALE ESTABLISHMENT' USE ADDITION (+/-14,000 SF), A WAREHOUSE ADDITION (+/-6,000 SF) AND NEW DRIVEWAY, PARKING, AND LANDSCAPING - AT JUNCTION AVENUE.

DEMOLISH A REAR BAY AT (E) WAREHOUSE AND MODIFICATIONS OF (E) DRIVEWAYS, PARKING, AND LANDSCAPING-AT ROGERS AVENUE.

SITE DEVELOPMENT / USE PERMIT APPLICATION

PROJECT DATA

237-09-129 & 237-09-130 ZONE: HI (HEAVY INDUSTRIAL) LOT SIZE: +/- 4.12 ACRES / 179,334 SF LOT COVERAGE: +/- 45.2% / 81,118 SF

+/- 0.51 / / 91,658 SF (MAX. ALLOWED IS 1.50) FAR:

BLDG. HEIGHT: ONE STORY

FLOOR AREAS:

"GRANITE EXPO" +/- 14,000 SF WHOLESALE RETAIL ADDITION "GRANITE EXPO" +/- 6,050 SF WAREHOUSE ADDITION 1728 ROGERS AVE. 40,420 SF WAREHOUSE (EXISTING) - 460 SF DEMO REAR ADDITION 1750 ROGERS AVE. 21,108 SF WAREHOUSE (EXISTING) 10.540 SF OFFICE (EXISTING)

BLDG. SUBTOTAL +/- 71,608 SF (EXISTING) BLDG. TOTAL +/- 91.658 SF

57 NEW SPACES (MAX. 1 SPACE PER 250 S.F. OF WAREHOUSE RETAIL USE REQ'D.) —AT JUNCTION AVENUE.

(E) CUSTOMER & STAFF PARKING AND (E) TRUCK DELIVERIES -AT ROGERS AVENUE

OCCUPANCY: M SHOWROOM

B OFFICE

S-2 WAREHOUSE, STORAGE (LOW HAZARD)

CONSTR. TYPE: II-B (ADDITIONS) II-B (EXISTING WAREHOUSE)

YES, EXTEND EXISTING SPRINKLERS SPRINKLERS:

DRAWING INDEX

T1 TITLE SHEET, PROJECT DATA, DRAWING INDEX

ARCHITECTURAL

A0.1 OVERALL SITE (KEY) PLAN, CODE ANALYSIS

A1.1 SITE & ROOF PLAN - AREA WEST

A1.2 SITE & ROOF PLAN – AREA EAST

A2.1 (E) WAREHOUSE & OFFICES FLOOR PLAN

A2.2 SHOWROOM & WAREHOUSE FLOOR PLAN A3.1 FXTERIOR FLEVATIONS

A3.2 BUILDING SECTIONS

A4 PRELIMINARY WALL SECTIONS

CIVIL & LAND SURVEY - BY KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS

C1.0 TOPOGRAPHIC SURVEY WEST TOPOGRAPHIC SURVEY EAST

C3.0 PRELIMINARY GRADING & DRAINAGE PLAN - WEST PRELIMINARY GRADING & DRAINAGE PLAN - EAST

PRELIMINARY STORM WATER QUALITY CONTROL PLAN C4.1 PRELIMINARY STORM WATER QUALITY CONTROL DETAILS

LANDSCAPE - BY REED ASSOCIATES LANDSCAPE ARCHITECTURE

I 10 LANDSCAPE PLANTING PLAN - WEST

LANDSCAPE PLANTING PLAN - EAST

LANDSCAPE HYDROZONE PLAN - WEST L2.1 LANDSCAPE HYDROZONE PLAN - EAST

REVISIONS BY 12/7/20 SM 2 3/5/21 SM

GRANITE E EMERYVILLE LI C/0 H ST 1 652-888

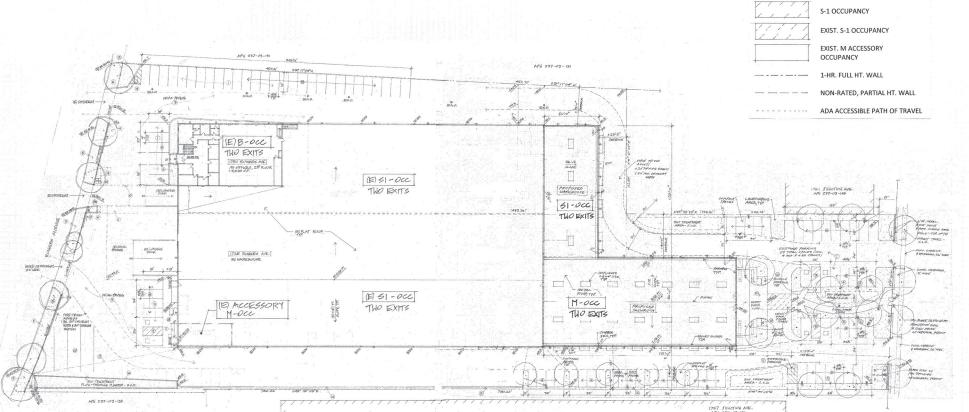
...."GRANITE EXPO" SHOWROOM & 1750 ROEES AVAREHOUSE & OFFICES TO ROEES AVENUE

DESIGN REVIEWSET

Date 5/15/20

Scale AS NOTED Drawn S. MENZI

LI



OVERALL SITE PLAN / CODE ANALYSIS

NOTES: I. EXISTING BUILDINGS ARE SPRINKLERED AND SPRINKLERS WILL BE EXTENDED TO BUILDING

LEGEND

M OCCUPANCY. EXIST. B OCCUPANCY

20 FT - 25 FT

MEANS OF EGRESS - OCCUPANT LOAD (TABLE 1004.1.2)

"GRANITE EXPO" SHOWROOM 14,000 SF / 60 = 234 OCCUPANTS TWO EXITS WAREHOUSE 6.050 SF / 500 = 13 OCCUPANTS TW0 FXITS 38,720 SF / 500 = 78 OCCUPANTS

(E) WAREHOUSE 21,108 SF / 500 = 43 OCCUPANTS TW0 EXITS EXIT WIDTH (1005) AND DOORS (1010)

117 x 0.2 = 23.4" MIN. REQ'D. EXIT WIDTH WAREHOUSE AREAS 13 OCCUPANTS TOTAL / 2 EXITS = 7 OCCUPANTS 7 x 0.2 = 1.4" MIN. REQ'D. EXIT WIDTH

ALL EXIT DOORS ARE REQ'D. FOR TO SWING IN DIRECTION OF TRAVEL PER CBC 1010.1.2.1 BECAUSE BUILDING'S TOTAL OCCUPANT LOAD EXCEEDS 50. PANIC BARS

EXIT & EXIT ACCESS DOORWAY CONFIGURATION - SECTION 1007

PROPOSED EXITS SHALL BE PLACED A DISTANCE APART EQUAL AND NOT LESS THAN ONE THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED MEASURED IN A STRAIGHT LINE PER CBC 1007.1.1 - SEE FLOOR PLANS.

SPRINKLERED OCCUPANCY M 250 FT OCCUPANCY S-1 250 FT OCCUPANCY B 300 FT

ACCESSIBILITY - PER CHAPTER 11B

BUILDING CODE REVIEW:

1728 & 1750 Rogers Avenu OCCUPANCY CLASSIFICATION, FLOOR AREAS & CONSTRUCTION TYPES

WHOLESALE USE "GRANITE EXPO" M OCC. II-B (SPRINKLERED) WAREHOUSE S-1 OCC. 6,050 SF II-B (SPRINKLERED) (E) WAREHOUSE S-1 OCC. 38,720 SF II-B (SPRINKLERED) (E) SALES SHOWROOM 1.240 SF II-B (SPRINKLERED) M ACCESSORY OCC. II-B (SPRINKLERED) (E) WAREHOUSE S-1 OCC. 21,108 SF (E) OFFICES B OCC. 10.540 SF II-B (SPRINKLERED) +/-91,658 SF II-B (SPRINKLERED) TOTAL

ALLOWABLE AREAS (TABLE 506.2)

TYPE II-B

OCCUPANCY M 50,000 SF (S1) OCCUPANCY B 69.000 SF (SM) 70,000 SF (S1) OCCUPANCY S-1 OCCUPANCY S-2 104,000 SF (S1)

MIXED USE & OCCUPANCY - SECTION 508 OCCUPANCY SEPARATIONS (TABLE 508.4)

S-1/M NONE

NONE S-2 / S-1 1-HR. S 1-HR. S S-2/M S-2/B 1-HR. S

INCIDENTIAL USES (TABLE 509) - NOT APPLICABLE.

CONSTRUCTION TYPE & FIRE RESISTANCE RATING FOR BUILDING ELEMENTS (TABLE 601)

NO FIRE RSISTANCE RATINGS ARE REQUIRED FOR ADDITION & (E) BUILDING: TYPE II-B PRIMARY STRUCTURAL FRAME EXTERIOR & INTERIOR

BEARING & NON-WALLS, FLOOR CONSTRUCTION & SECONDARY MEMBERS & ROOF CONSTRCTION &

SECONDARY MEMBERS.

FIRE RESISTANCE FOR EXTERIOR WALLS BASED ON DISTANCE TO PROPERTY LINE (TABLE 602)

OCC. GROUPS CONSTR. TYPE EXT. WALL, BEARING & NON-BEARING

M, B, S-2, S-1 II-B 10 FT - 30 FT

COMBUSTIBLE MATERIALS IN TYPE I & II CONSTRUCTION - SECTION 603

SEE SECTIONS 603.1 & 603.1.1 THROUGH 603.1.3.

EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE (TABLE 705.8)

DEGREE OF OPENING PROTECTION FIRE SEPARATION DISTANCE

UNPROTECTED, SPRINKLERED

NO LIMIT

ALLOWABLE AREA

WHOLESALE SHOWROM MERCANTILE 60 SF PER OCCUPANT 100 SF PER OCCUPANT 500 SF PER OCCUPANT BUSINESS STORAGE WAREHOUSE

NUMBER OF EXITS - SECTION 1006, TABLE 1006.2.1.

WHOLESALE SPACES 234 OCCUPANTS TOTAL / 2 EXITS = 117 OCCUPANTS

ARE NOT REO'D PER 1010 1 10

EXIT SIGNS - PER SECTION 1013

EXIT ACCESS - SECTION 1016

EXITS ARE ALLOWED THROUGH INTERVENING SPACES PER CBC 1016.2.2 - SEE FLOOR PLANS.

EXIT ACCESS & TRAVEL DISTANCE (TABLE 1017.2)

MAX. TRAVEL DISTANCE IS APPROX. 175 FT. IN SHOWROOM & APPROX. 100 FT. IN WAREHOUSE; EXISTING MAX. TRAVEL DISTANCE IS APPROX. 100 FT. IN (E) OFFICES & APPROX. 200 FT. IN (E) WAREHOUSE - SEE FLOOR PLANS (V.I.F.)

12/7/20

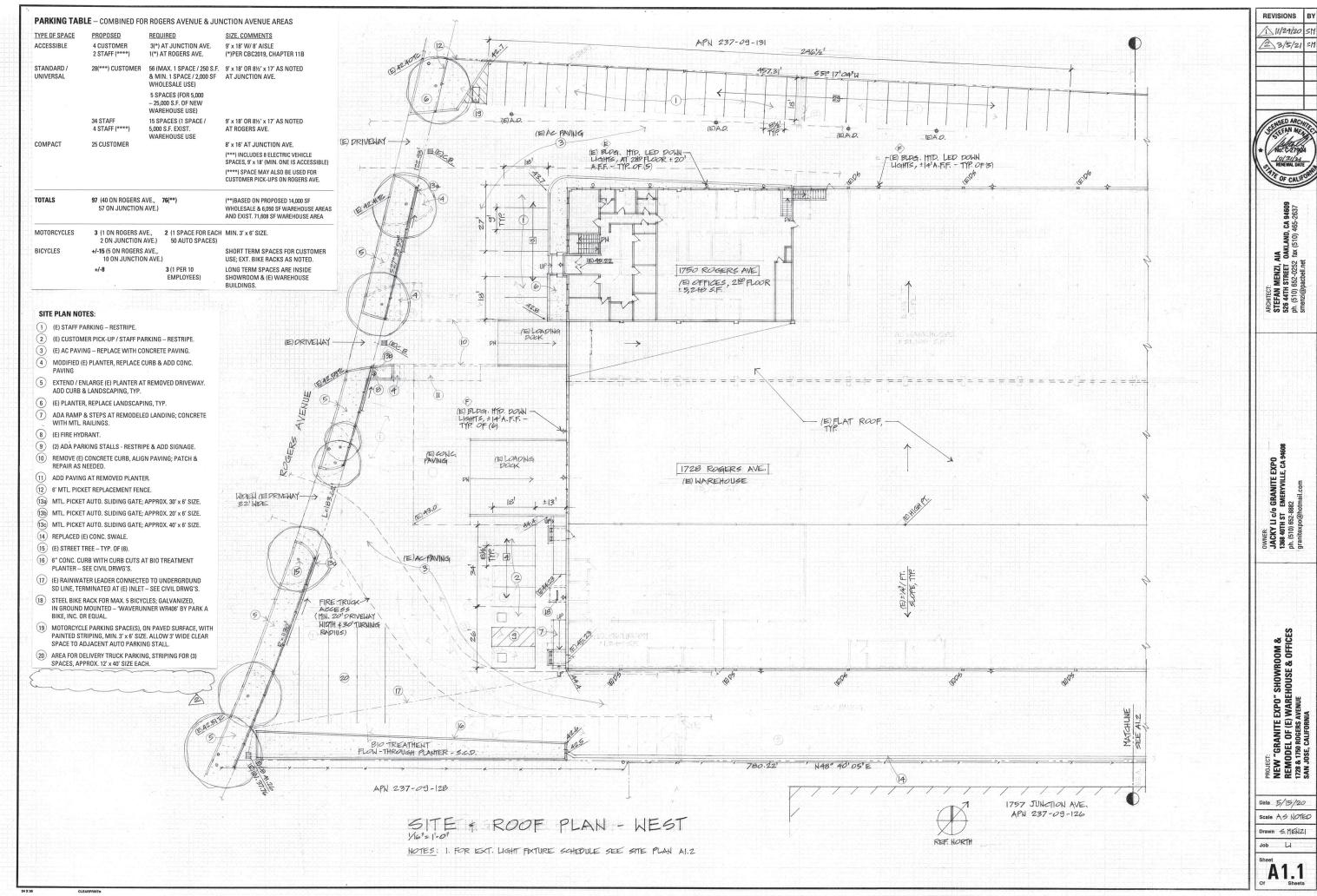
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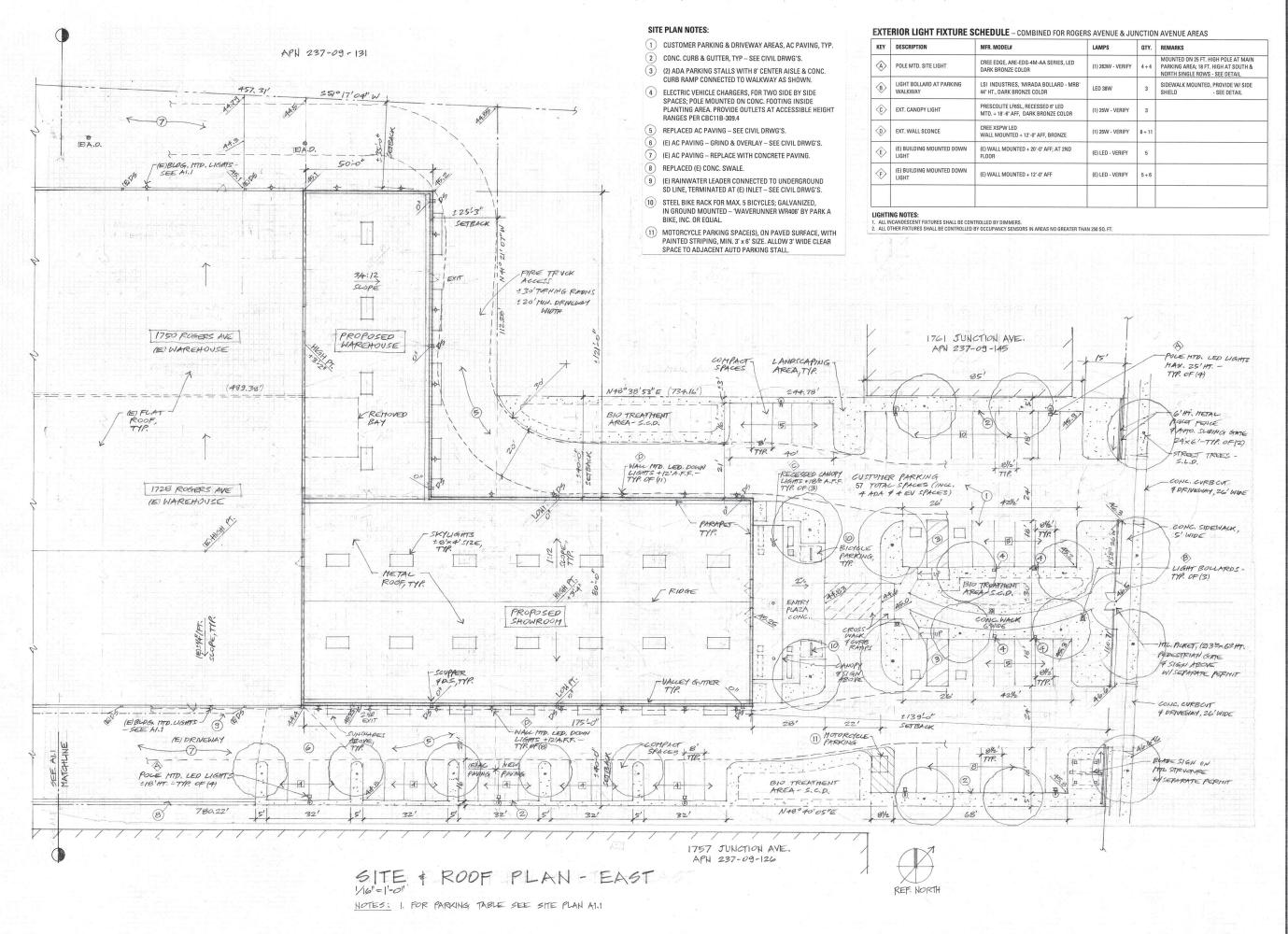
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1728 & 1750 ROGERS AVENUE
SAN JOSE, CALIFORNIA

Date 5/15/20 Scale AS NOTED

Drawn S. MENZI

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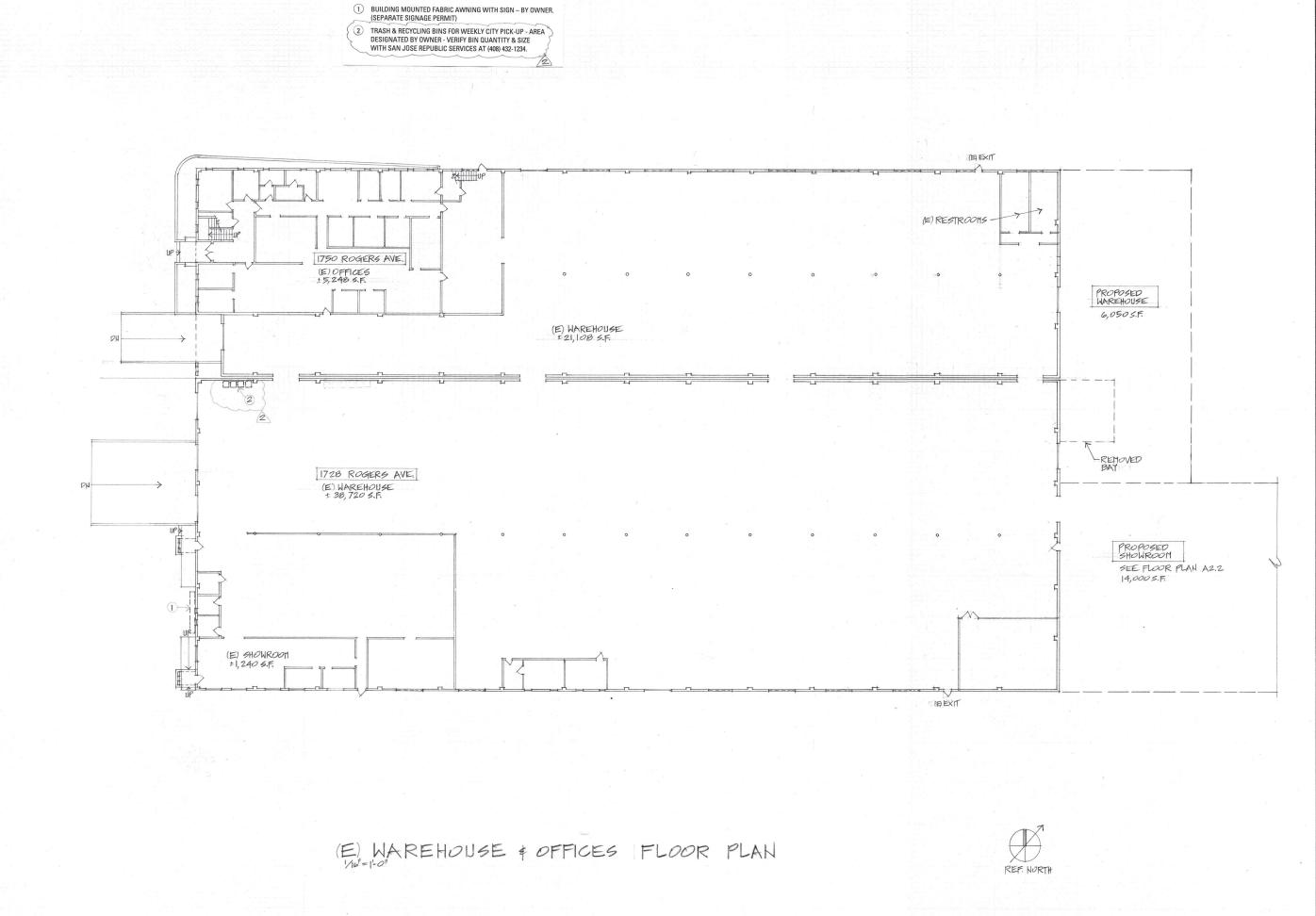
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Job L

Sheet A 1.2



FLOOR PLAN NOTES:

REVISIONS BY 2 3/5/21 SM

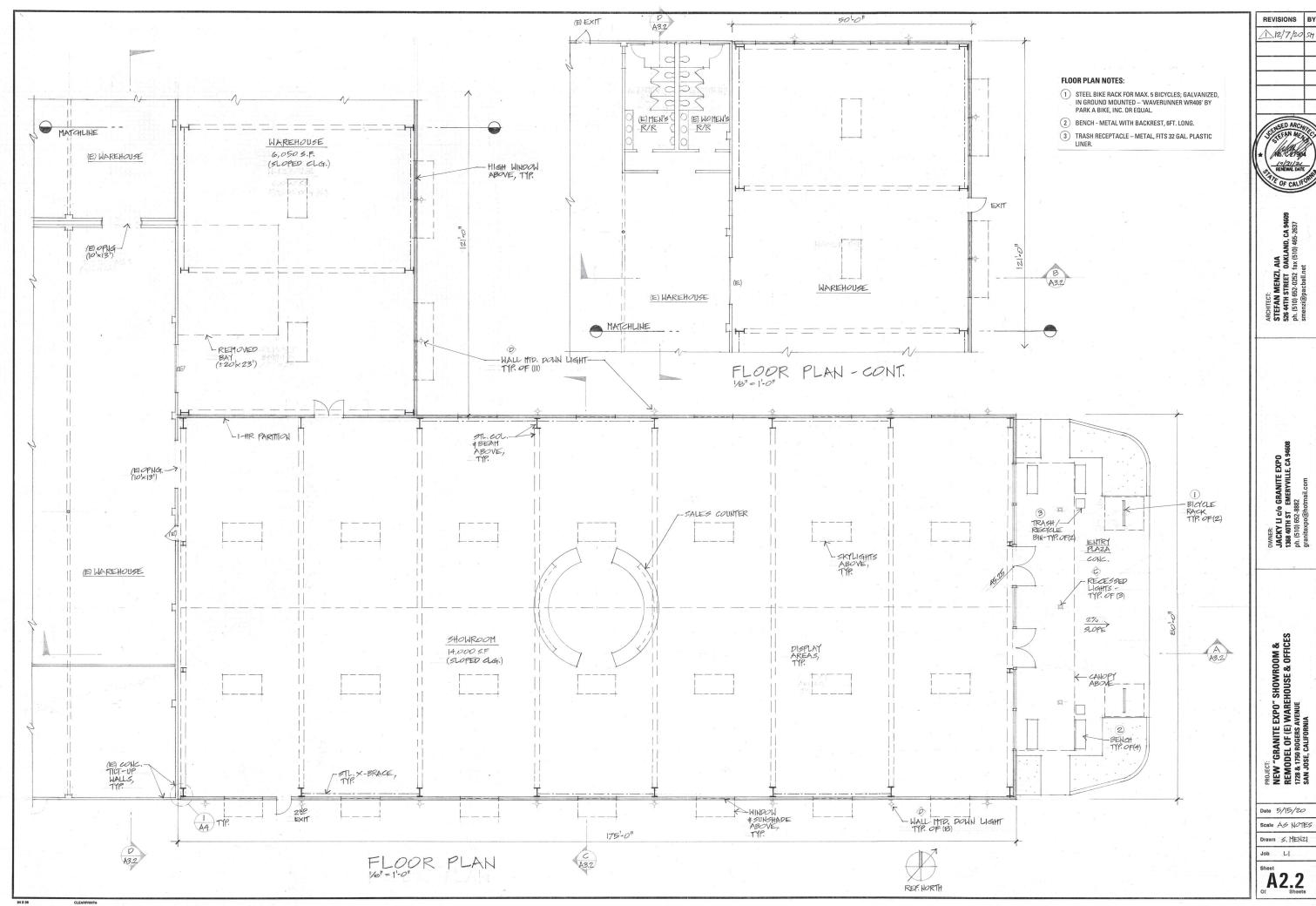
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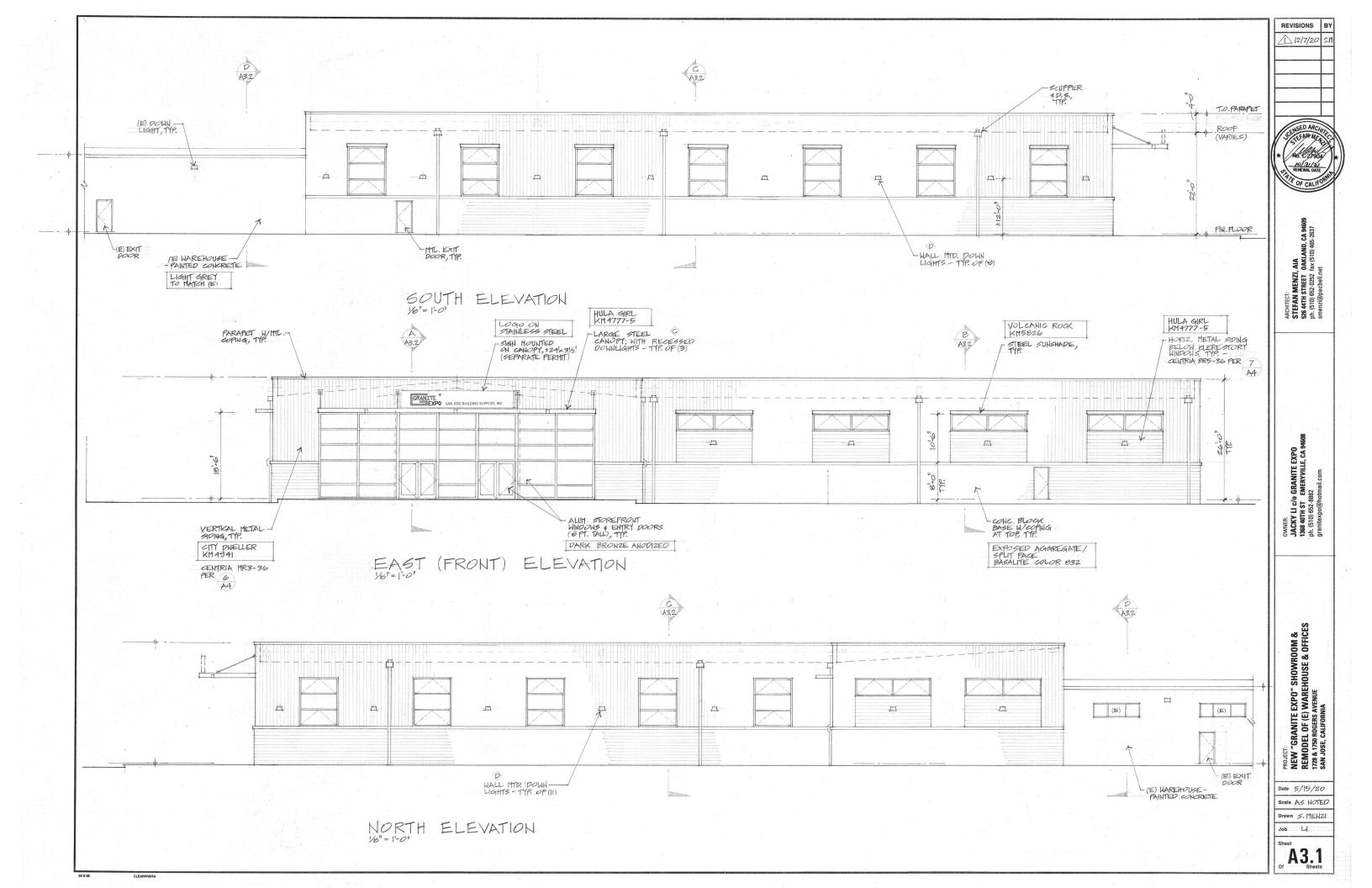
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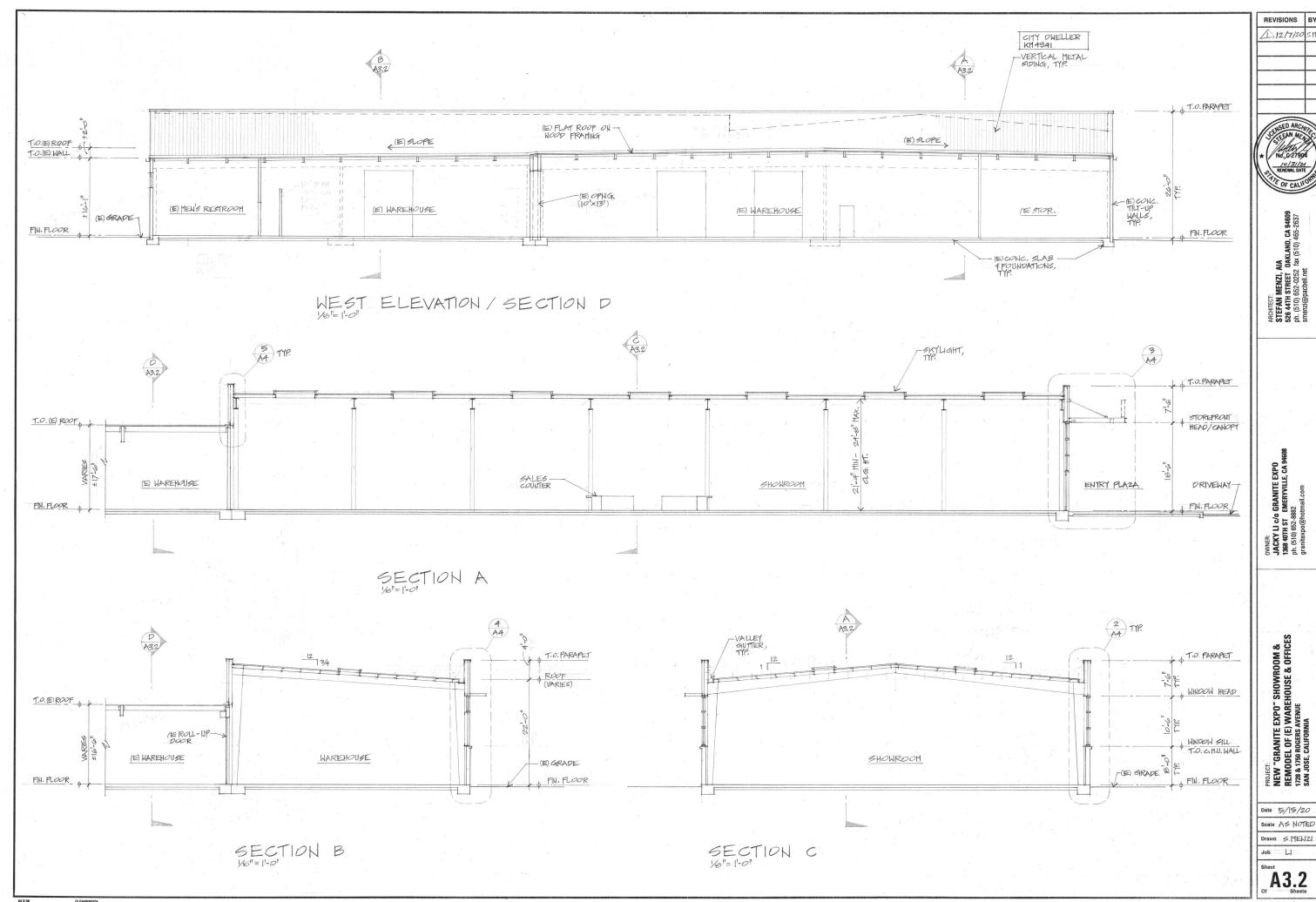
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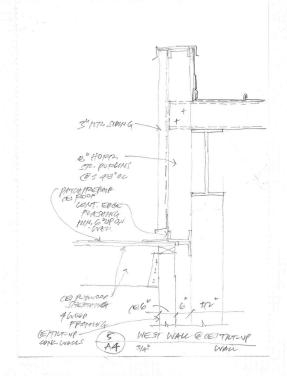
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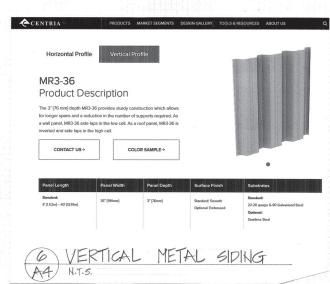
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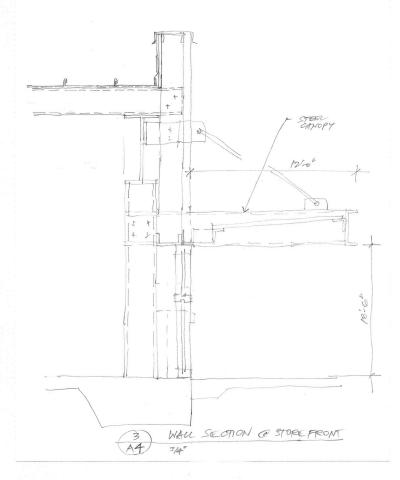


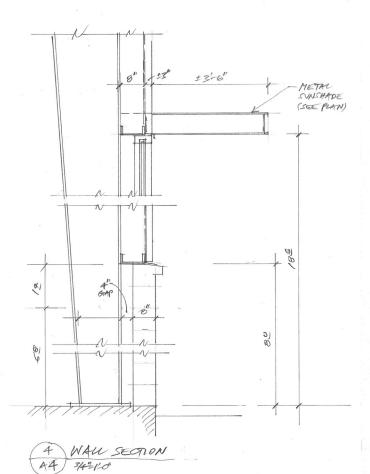


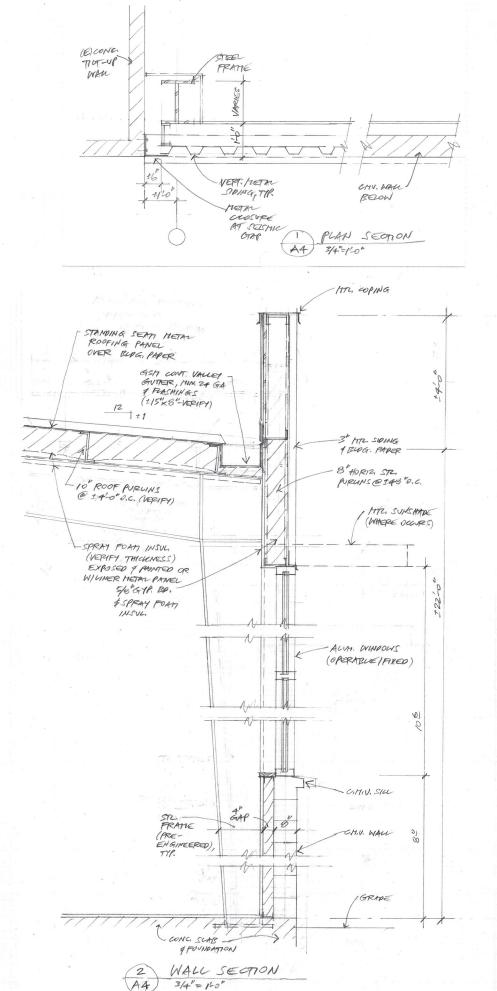


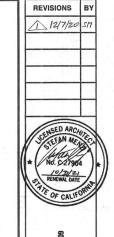












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