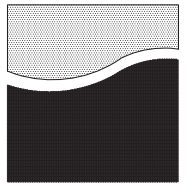


Appendix D

Project Site Plans and Architectural Drawings



REED ASSOCIATES
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web: www.ralab.net / email: paul@ralab.net

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San Jose, CA

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Approved	Drawn	ds	Reviewed	pj
Project No. ---		Scale 1" = 16'-0" Issue Date 12.04.20		

PLANT NOTES:

1. THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
2. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
3. PLANT GROUND COVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
4. SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
5. THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
6. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2% MIN).
8. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
9. ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN 3/10TH FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
10. ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN, AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
11. THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MAY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
12. PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT -1.800.227.2600

PLANT SYMBOLS

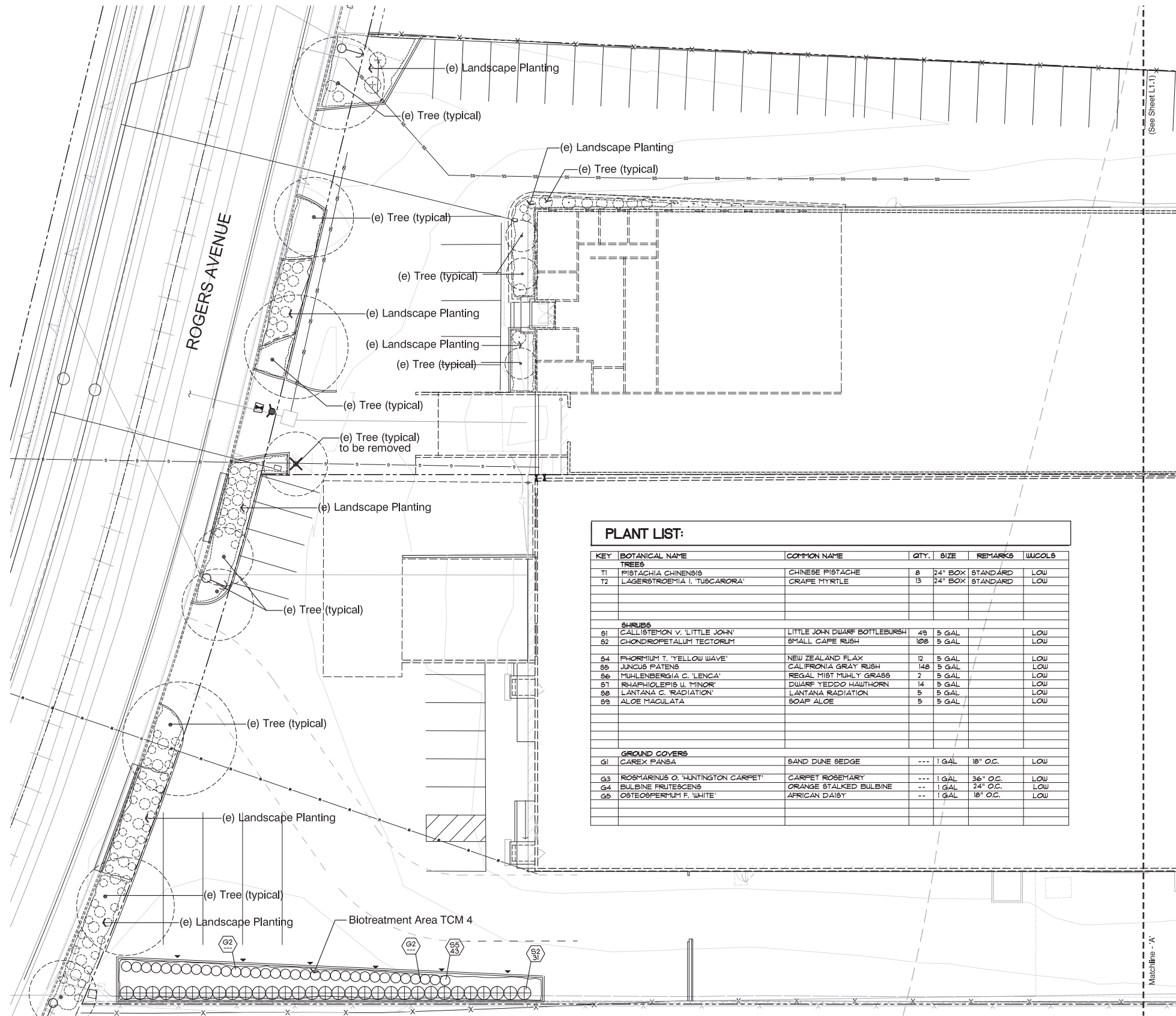
- ⊗ INDICATES PLANT KEY
- ⊗⊗ INDICATES PLANT QUANTITY
- EXISTING TREE TO REMAIN
- ⊗ EXISTING SHRUB PLANTING TO REMAIN

STREET TREE NOTES

1. STREET TREES SHOWN IN THE PUBLIC RIGHT-OF-WAY ARE FOR INFORMATION ONLY. THE PLANNING PERMIT DOES NOT AUTHORIZE THE INSTALLATION OR REMOVAL OF TREES IN THE PUBLIC RIGHT OF WAY. ACTUAL STREET TREE LOCATION WILL BE DETERMINED BY PUBLIC WORKS AT THE IMPLEMENTATION STAGE ON THE PUBLIC IMPROVEMENT PLAN. THE INSTALLATION OR REMOVAL OF THE STREET TREES REQUIRES A PERMIT FROM THE DEPARTMENT OF TRANSPORTATION. THE CITY ARBORIST WILL SPECIFY THE SPECIES.
2. CONTACT THE CITY ARBORIST AT (408) 794-1901 FOR THE DESIGNATED STREET TREE.
3. OBTAIN A "DOT" STREET TREE PLANTING PERMIT FOR ANY PROPOSED STREET TREE PLANTINGS.

STORWATER SWALE NOTES

1. ALL STORM-WATER SWALE AREAS TO RECEIVE 3 INCH DEPTH OF COMPOSTED, "NON-FLOATABLE" MULCH DOUBLE IN AREAS BETWEEN STORMWATER TREATMENT PLANTINGS AND SIDE SLOPES.
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5. REFER TO CIVIL ENGINEER'S PLANS FOR 'BIO SOL MEDIA' SOL SPECIFICATIONS.
6. PROJECT WILL NOT LOCATE TREES WITHIN THE BASIN OR BANK PLANTING ZONES OF FLOW-THROUGH PLANTERS BOXES. TREES WILL ALSO NOT BE LOCATED DIRECTLY IN LINE WITH OR NEXT TO STORMWATER INLETS (CURB OPENINGS, DOWNSPOUTS, CHANNEL/GRATES, ETC.) AND WILL OFFSET OR RELOCATE TREES OUTSIDE OF FLOW-THROUGH PLANTER BOXES.



PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
TREES						
T1	PISTACHIA CHINENSIS	CHINESE PISTACHE	8	24" BOX	STANDARD	LOW
T2	LAGERSTROEMIA L. 'TUSCARORA'	CRAPE MYRTLE	13	24" BOX	STANDARD	LOW
SHRUBS						
S1	CALLISTEMON V. 'LITTLE JOHN'	LITTLE JOHN DWARF BOTTLEBURSH	45	5 GAL		LOW
S2	CHONDROPETALUM TECTORIUM	SMALL CAPE RUSH	108	5 GAL		LOW
S4	PHORMIUM T. 'YELLOW WAVE'	NEW ZEALAND FLAX	12	5 GAL		LOW
S5	JUNCUS PATENS	CALIFORNIA GRAY RUSH	148	5 GAL		LOW
S6	MUHLENBERGIA C. 'LENCA'	REGAL MIST MUHLY GRASS	2	5 GAL		LOW
S7	RHAPHIOLEPIS U. 'MINOR'	DWARF YEDDO HAUTHORN	14	5 GAL		LOW
S8	LANTANA C. 'RADIATION'	LANTANA RADIATION	5	5 GAL		LOW
S9	ALOE MACULATA	SOAP ALOE	5	5 GAL		LOW
GROUND COVERS						
G1	CAREX PANSA	SAND DUNE SEDGE	---	1 GAL	18" O.C.	LOW
G3	ROSMARINUS O. 'HUNTINGTON CARPET'	CARPET ROSEMARY	---	1 GAL	36" O.C.	LOW
G4	BULBINE FRUTESCENS	ORANGE STALKED BULBINE	--	1 GAL	24" O.C.	LOW
G5	OSTEOSPERMUM F. 'WHITE'	AFRICAN DAISY	--	1 GAL	18" O.C.	LOW

STREET TREE LIST

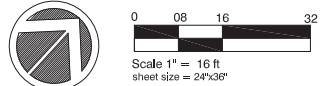
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
TREES						
S11	CHOSEN BY CITY	SEE STREET TREE NOTES	4	24" BOX	STANDARD	

BIORETENTION PLANT LIST (C.3 APPDX. 'D')

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
SHRUBS						
S2	CHONDROPETALUM TECTORIUM	SMALL CAPE RUSH	108	5 GAL	BANK PLANTING	LOW
S5	JUNCUS PATENS	CALIFORNIA GRAY RUSH	148	5 GAL	BANK PLANTING	LOW
GROUND COVER						
G2	BACCHARIS PILULARIS 'PIGEON POINT'	DWARF COYOTE BRUSH	---	1 GAL	48" O.C.	LOW

TREE REPLACEMENT REQUIREMENTS

Protected Trees to be Removed Size	Replacement Tree(s) Ratio	Protected Trees to be Removed	Replacement Tree Required	Proposed New Trees
12" - or larger	4:1 for 15 gallon size 2:1 for 24" box size	3	12 x 15 gallon trees 6 x 24" box trees	0 x 15 gallon size 21 x 24" box size



BEFORE EXCAVATING CALL: 811
48-HOURS BEFORE ALL
PLANNED WORK OPERATIONS



Know what's below.
Call before you dig.

Landscape Planting Plan

L1.0

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S1	GALLIESTEMON V. 'LITTLE JOHN'	LITTLE JOHN DWARF BOTTLEBRUSH	49	5 GAL		LOW
S4	PHORMIUM T. 'YELLOW WAVE'	NEW ZEALAND FLAX	12	5 GAL		LOW
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PLANT SYMBOLS

- 5xX XxX INDICATES PLANT KEY
- 5xX XxX INDICATES PLANT QUANTITY
- EXISTING TREE TO REMAIN
- EXISTING SHRUB PLANTING TO REMAIN

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BIORETENTION PLANT LIST (C.3 APPDX. 'D')

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S5	JUNCUS PATENS	CALIFORNIA GRAY RUSH	148	5 GAL	BANK PLANTING	LOW
GROUND COVER						
G2	BACCHARIS PILULARIS 'PIGEON POINT'	DWARF COYOTE BRUSH	---	1 GAL	48" O.C.	LOW

STREET TREE LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
TREES						
ST1	CHOSEN BY CITY	SEE STREET TREE NOTES	4	24" BOX	STANDARD	



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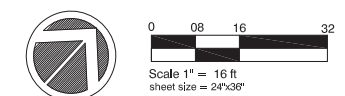


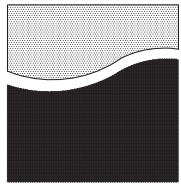
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Approved	pr	Reviewed	pr
Drawn	ds		
Project No.	---		
Scale	1"=16'-0"	Issue Date	12.04.20

Landscape Planting Plan

L1.1





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Project No. ---
Scale 1"=16'-0" Issue Date 12.04.20

Landscape
Hydrozone Plan

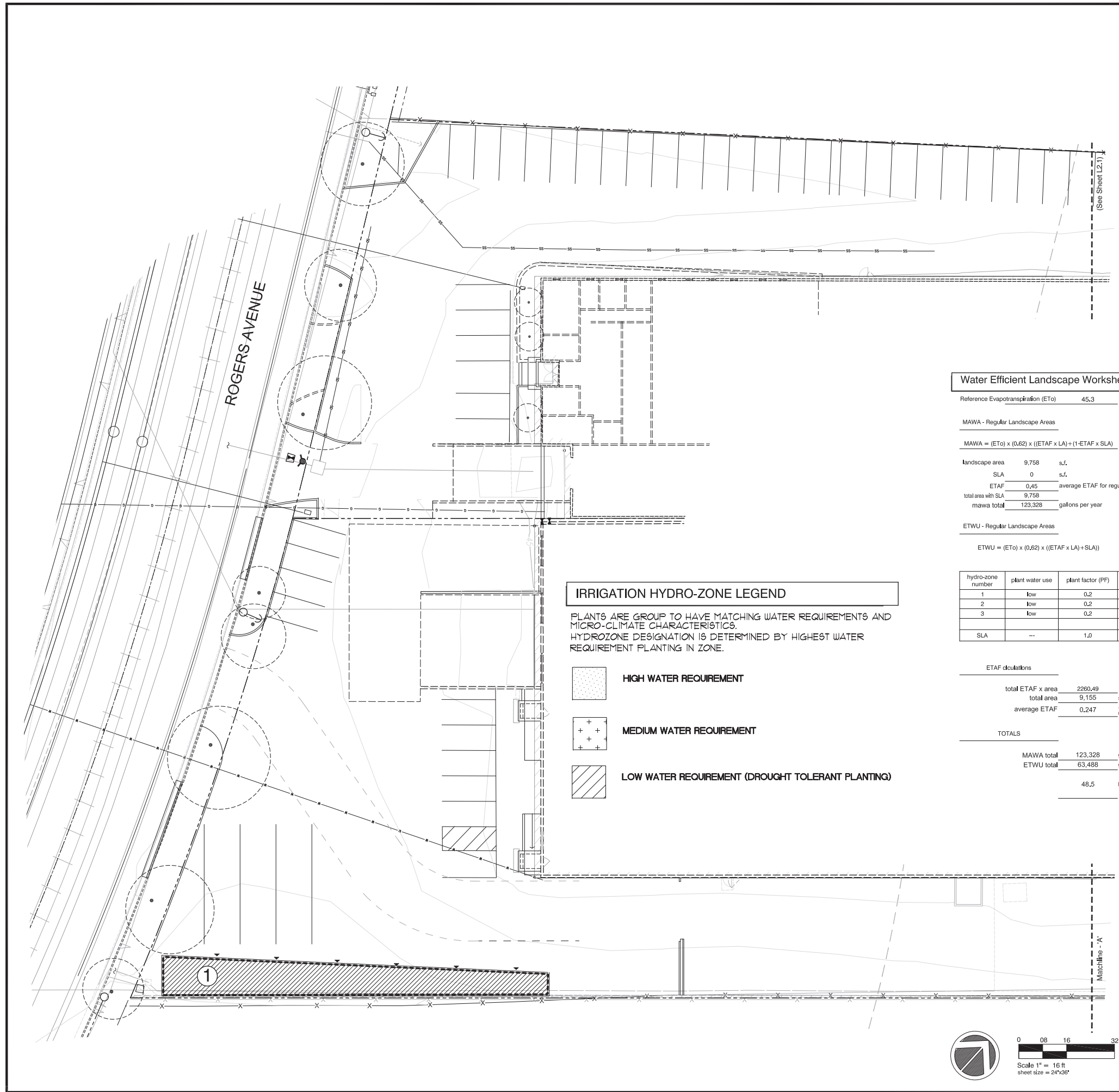
L2.0

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48-HOURS BEFORE ALL
PLANNED WORK OPERATIONS






Know what's below.
Call before you dig.

Sheet of



IRRIGATION HYDRO-ZONE LEGEND

PLANTS ARE GROUP TO HAVE MATCHING WATER REQUIREMENTS AND MICRO-CLIMATE CHARACTERISTICS. HYDROZONE DESIGNATION IS DETERMINED BY HIGHEST WATER REQUIREMENT PLANTING IN ZONE.

-  **HIGH WATER REQUIREMENT**
-  **MEDIUM WATER REQUIREMENT**
-  **LOW WATER REQUIREMENT (DROUGHT TOLERANT PLANTING)**

Water Efficient Landscape Worksheet

Reference Evapotranspiration (ET₀) 45.3

MAWA - Regular Landscape Areas

MAWA = (ET₀) x (0.62) x ((ETAF x LA) + (1-ETAF x SLA))

landscape area	9,758	s.f.
SLA	0	s.f.
ETAF	0.45	average ETAF for regular landscape areas must be 0.55 residential areas, and 0.45 for non-residential areas.
total area with SLA	9,758	
mawa total	123,328	gallons per year

ETWU - Regular Landscape Areas

ETWU = (ET₀) x (0.62) x ((ETAF x LA) + SLA))

hydro-zone number	plant water use	plant factor (PF)	irrigation method	irrigation efficiency	ETAF (PF/IE)	hydro-zone area	ETAF x Area	ETWU
1	low	0.2	drip	0.81	0.247	3,472	857.3	24,078
2	low	0.2	drip	0.81	0.247	3,162	781	21,928
3	low	0.2	drip	0.81	0.247	2,521	622	17,483
SLA	---	1.0	---	1.00	1.000	0	0	0

ETWU total (with SLA) 9,155 2260,49 63,488

ETAF calculations

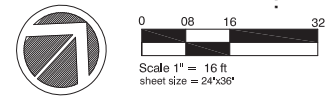
total ETAF x area	2260,49
total area	9,155 s.f.
average ETAF	0.247

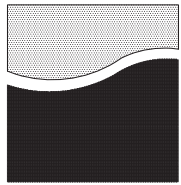
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

TOTALS

MAWA total	123,328	gallons per year
ETWU total	63,488	gallons per year

48.5 Percentage reduction of Potable Irrigation Water





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Approved	pij	Reviewed	pij
Drawn	ds	Project No.	--
Scale	1"=16'-0"	Issue Date	12.04.20

Landscape
Hydrozone Plan

BEFORE EXCAVATING CALL: 811
48-HOURS BEFORE ALL
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L2.1

Water Efficient Landscape Worksheet

Reference Evapotranspiration (ET_o) 45.3

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SLA	--	1.0	--	1.00	1.000	0	0	0

ETWU total (with SLA) 9,155 2260.49 63,488

ETAF calculations

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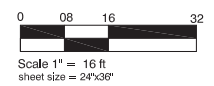
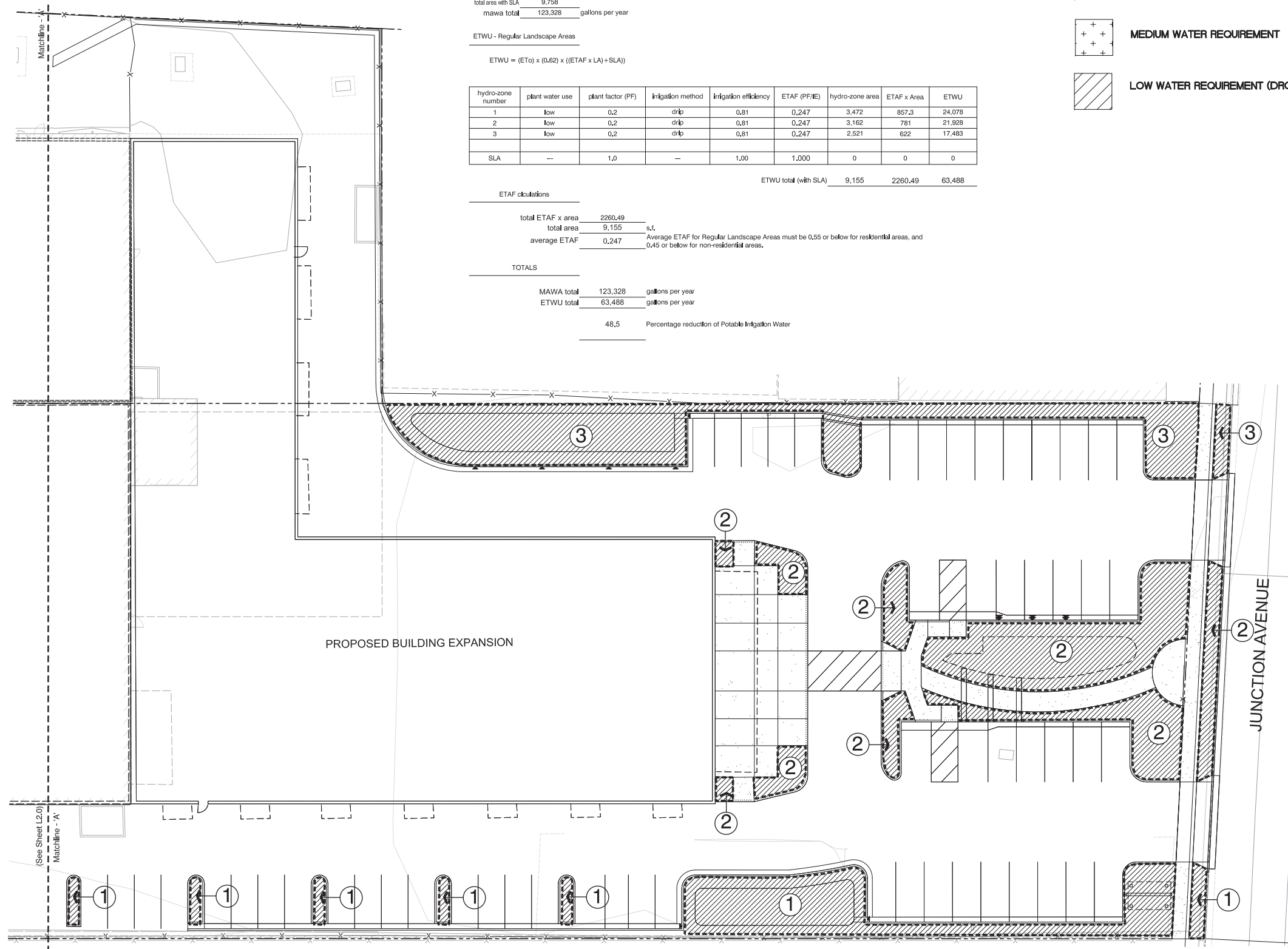
TOTALS

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IRRIGATION HYDRO-ZONE LEGEND

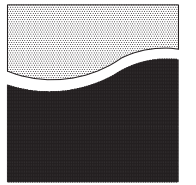
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- HIGH WATER REQUIREMENT
- MEDIUM WATER REQUIREMENT
- LOW WATER REQUIREMENT (DROUGHT TOLERANT PLANTING)



(See Sheet L2.0)
Matchline - A

Matchline - A



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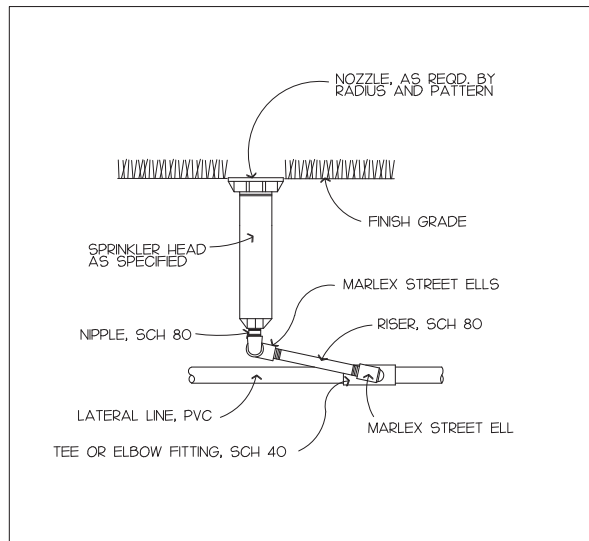
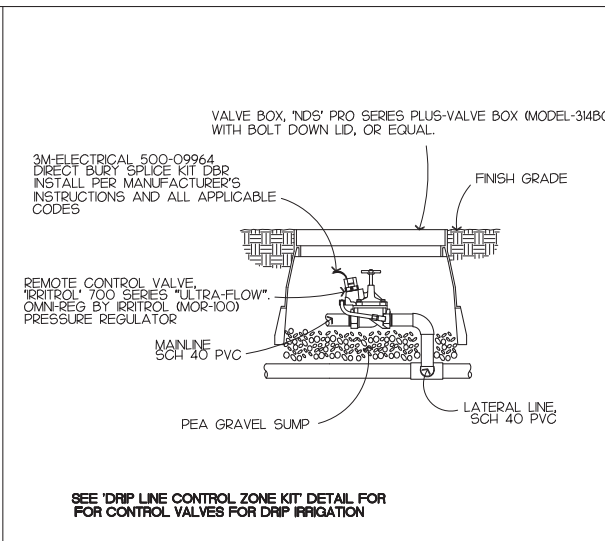
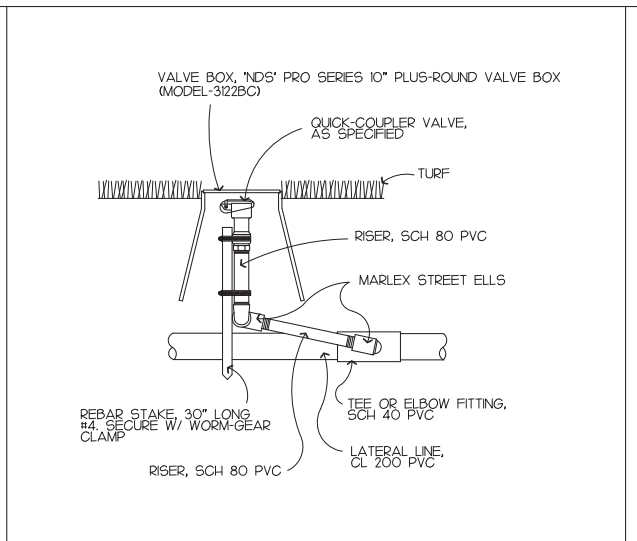
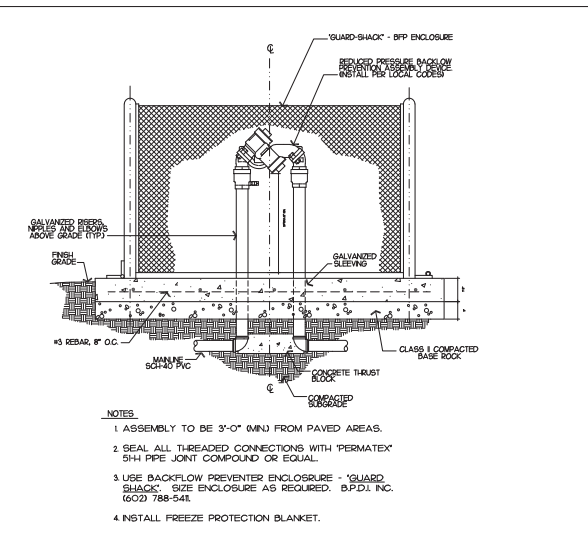


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Landscape
Construction Details

L3.0

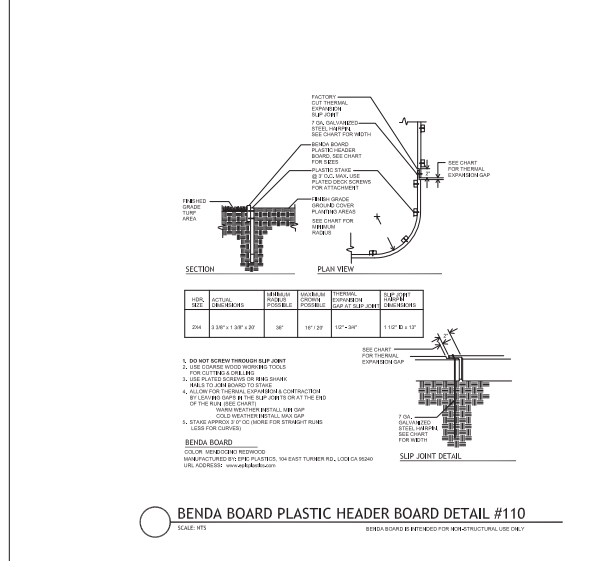
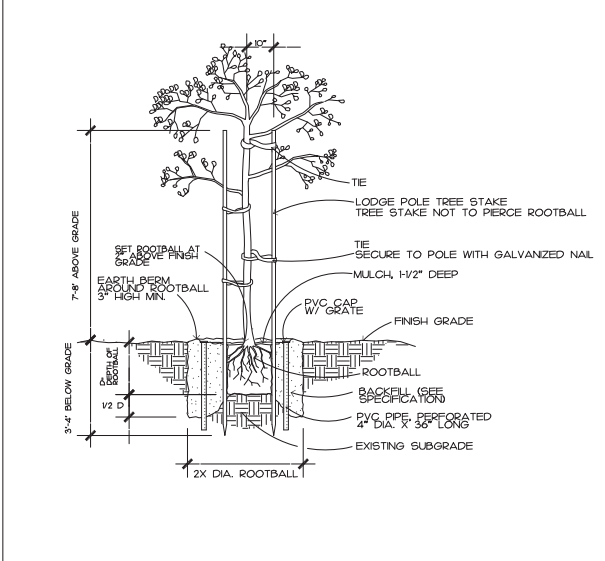
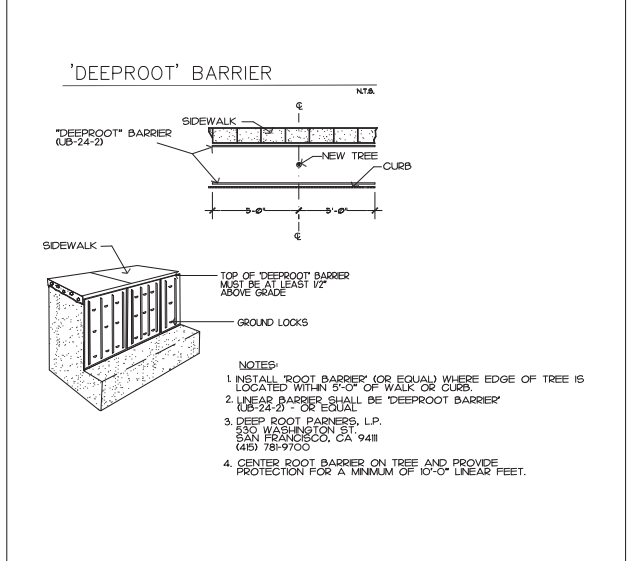
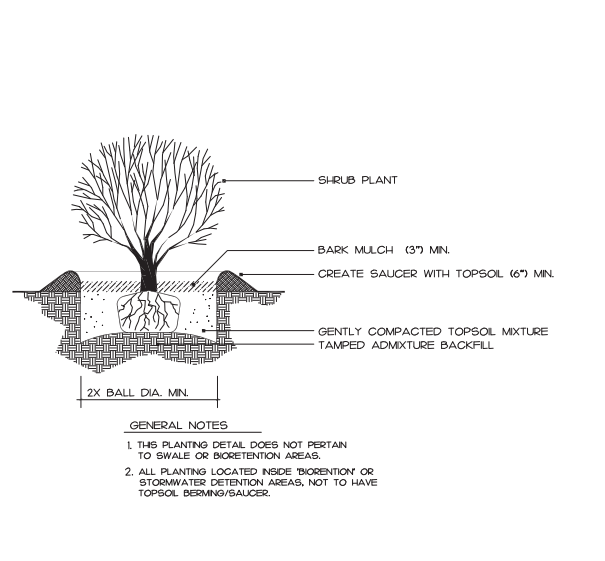


4 BACKFLOW PREVENTER DETAIL

3 QUICK-COUPLER DETAIL

2 IRRIGATION CONTROL VALVE DETAIL

1 IRRIGATION HEAD DETAIL

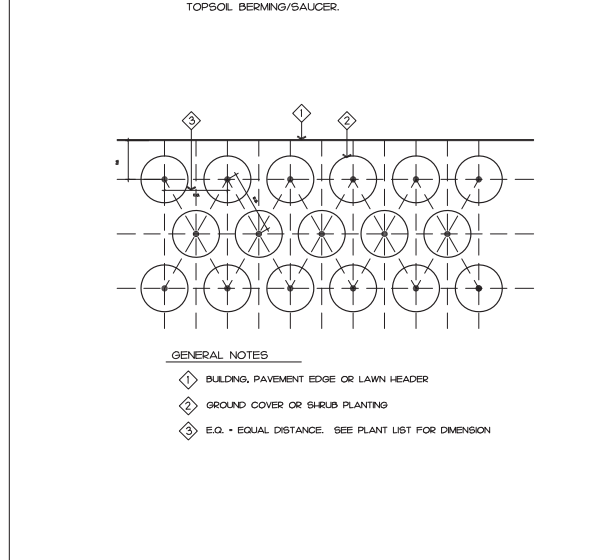
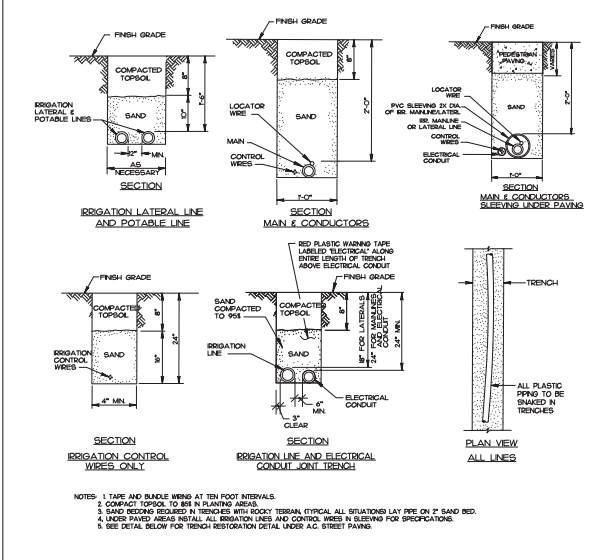


8 SHRUB PLANTING DETAIL

7 TREE ROOT BARRIER DETAIL

6 TREE PLANTING DETAIL

5 'BENDERBOARD' LAWN HEADER (OR EQUAL) DETAIL

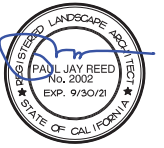


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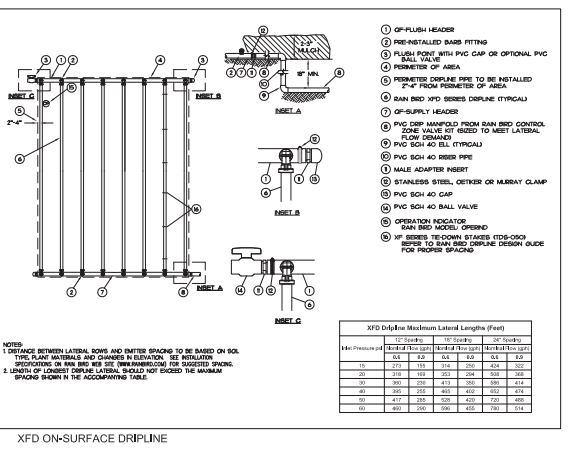
10 IRRIGATION TRENCH DETAIL

9 GROUND COVER SPACING

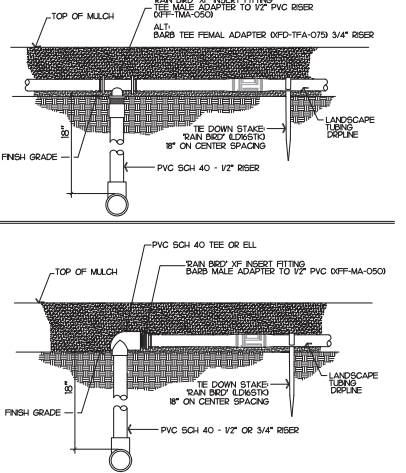


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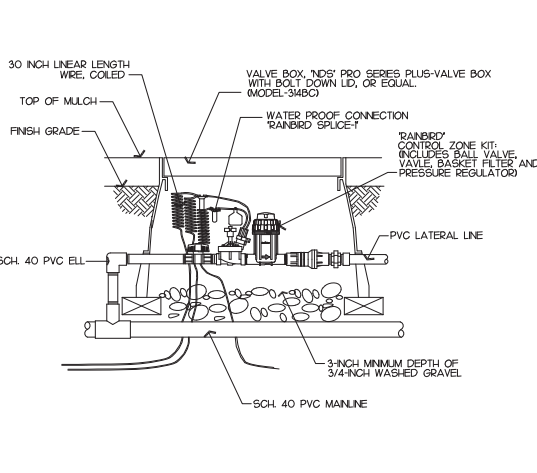
Approved pjr
Drawn ds Reviewed pjr
Project No. ---
Scale NTS Issue Date 12.04.20



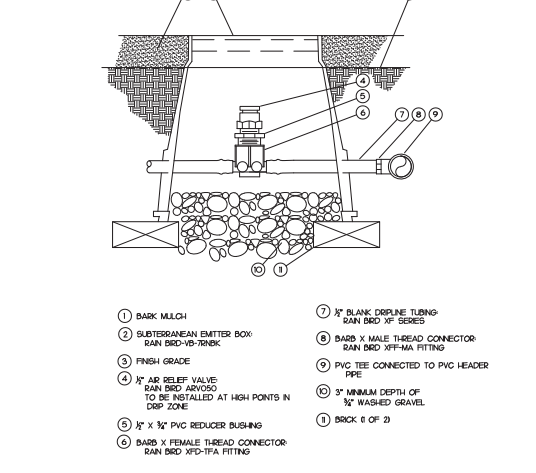
4 DRIP EMITTER LINE DETAIL



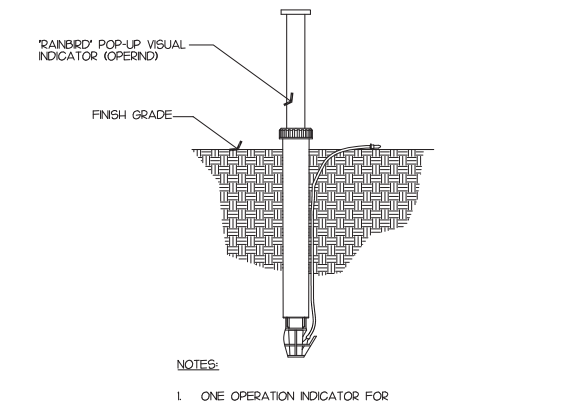
3 DRIP EMITTER LINE DETAIL



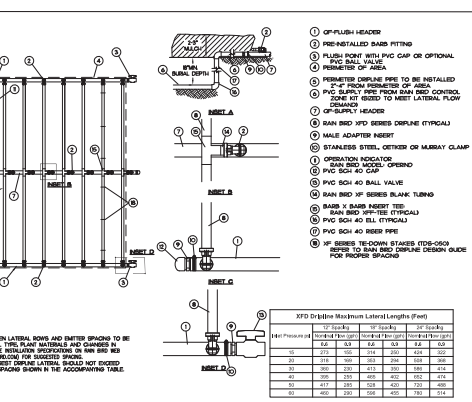
2 DRIP LINE CONTROL ZONE KIT DETAIL



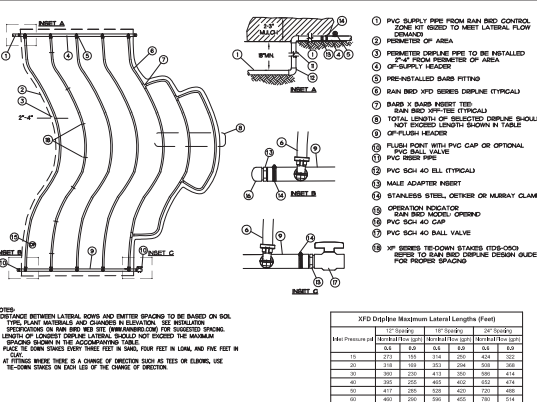
1 DRIP LINE AIR RELIEF VALVE



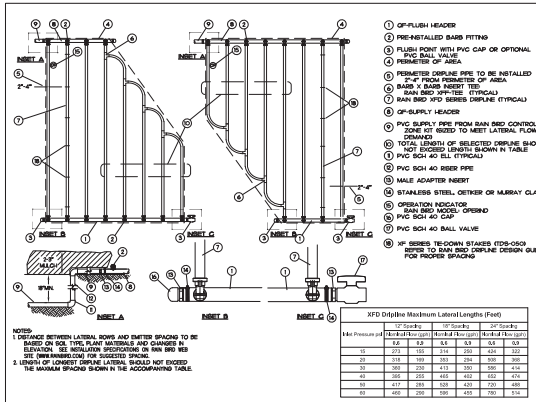
8 DRIP SYSTEM - OPERATION INDICATOR DETAIL



7 DRIP EMITTER LINE DETAIL



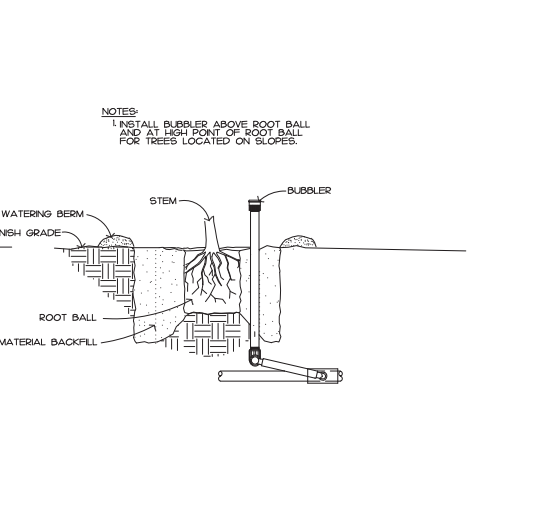
6 DRIP EMITTER LINE DETAIL



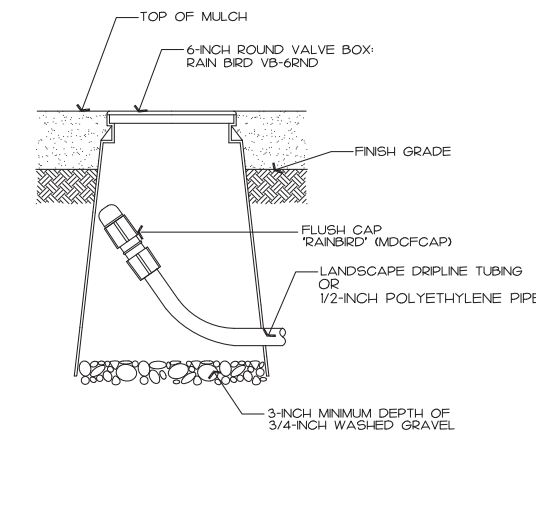
5 DRIP EMITTER LINE DETAIL



11



10 TREE BUBBLER DETAIL



9 FLUSH POINT DETAIL

GENERAL NOTES:

- BUILDING CODES:**
ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES INCLUDING 2019 CALIFORNIA BUILDING & RESIDENTIAL CODES, 2019 CALIFORNIA MECHANICAL, PLUMBING & ELECTRICAL CODES, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA GREEN BUILDING CODE, AND CITY OF SAN JOSE ORDINANCES APPLICABLE TO THIS PROJECT.
- SITE CONDITIONS:**
CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM/HERSELF WITH ALL EXISTING LIMITATIONS. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF SAME TYPE AND CHARACTER AS THAT SHOWN FOR SIMILAR CONDITIONS. IF DISCREPANCIES, ERRORS OR OMISSIONS ARE DISCOVERED IN THESE DRAWINGS, NOTIFY THE ARCHITECT BEFORE THE PROCEEDING WITH THE WORK.
- DIMENSIONS:**
CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DIMENSIONS ARE TO THE ROUGH FRAME UNLESS OTHERWISE NOTED. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- DEMOLITION:**
CONTRACTOR SHALL EXECUTE DEMOLITION WORK TO ENSURE THE SAFETY OF PERSONS AND ADJACENT PROPERTY FROM DAMAGE OF ANY KIND IN CONNECTION WITH THIS WORK. WHERE EXISTING CONSTRUCTION IS CUT, DAMAGED OR REMODELED, PATCH OR REPLACE WITH MATERIALS WHICH MATCH THE KIND, QUALITY AND PERFORMANCE OF ADJACENT SURFACES.
- SCHEDULE:**
THE CONTRACTOR SHALL INFORM THE OWNER AND ARCHITECT OF THE CONSTRUCTION SCHEDULE PRIOR TO STARTING WORK. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE DISRUPTION TO NEIGHBORS AND OCCUPANTS DURING CONSTRUCTION.
- CHANGE ORDERS:**
ALL CHANGE ORDERS SHALL BE AGREED TO AND IN WRITING PRIOR TO EXECUTION OF WORK.
- CLEANUP:**
THE CONTRACTOR SHALL REMOVE THE CONSTRUCTION DEBRIS AT THE END OF THE JOB AND DISPOSE OF IT LEGALLY. CLEAN ALL NEW WINDOWS AND LEAVE THE JOB BROOM CLEAN.
- WARRANTY:**
CONTRACTOR SHALL WARRANT ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OR FROM THE COMMENCEMENT OF SPECIFIC WARRANTIES, AND MAKE CORRECTIONS TO THE WORK DURING THESE PERIODS.

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VIEW FROM ROGERS AVENUE - EXISTING CONDITIONS



VIEW FROM JUNCTION AVENUE

SCOPE OF WORK

NEW "GRANITE EXPO" SHOWROOM, "WHOLESALE ESTABLISHMENT" USE ADDITION (+/-14,000 SF), A WAREHOUSE ADDITION (+/-6,000 SF) AND NEW DRIVEWAY, PARKING, AND LANDSCAPING - AT JUNCTION AVENUE.
DEMOLISH A REAR BAY AT (E) WAREHOUSE AND MODIFICATIONS OF (E) DRIVEWAYS, PARKING, AND LANDSCAPING - AT ROGERS AVENUE.
SITE DEVELOPMENT / USE PERMIT APPLICATION

PROJECT DATA

APN: 237-09-129 & 237-09-130
ZONE: HI (HEAVY INDUSTRIAL)
LOT SIZE: +/- 4.12 ACRES / 179,334 SF
LOT COVERAGE: +/- 45.2% / 81,118 SF
FAR: +/- 0.51 // 91,658 SF (MAX. ALLOWED IS 1.50)
BLDG. HEIGHT: ONE STORY
FLOOR AREAS:
"GRANITE EXPO" +/- 14,000 SF WHOLESALE RETAIL ADDITION
"GRANITE EXPO" +/- 6,050 SF WAREHOUSE ADDITION
1728 ROGERS AVE. 40,420 SF WAREHOUSE (EXISTING)
- 460 SF DEMO REAR ADDITION
1750 ROGERS AVE. 21,108 SF WAREHOUSE (EXISTING)
10,540 SF OFFICE (EXISTING)
BLDG. SUBTOTAL +/- 71,608 SF (EXISTING)
BLDG. TOTAL +/- 91,658 SF
PARKING: 57 NEW SPACES (MAX. 1 SPACE PER 250 S.F. OF WAREHOUSE RETAIL USE REQ'D.) - AT JUNCTION AVENUE.
(E) CUSTOMER & STAFF PARKING AND (E) TRUCK DELIVERIES - AT ROGERS AVENUE.
OCCUPANCY: M SHOWROOM
B OFFICE
S-2 WAREHOUSE, STORAGE (LOW HAZARD)
CONSTR. TYPE: II-B (ADDITIONS)
II-B (EXISTING WAREHOUSE)
SPRINKLERS: YES, EXTEND EXISTING SPRINKLERS

DRAWING INDEX

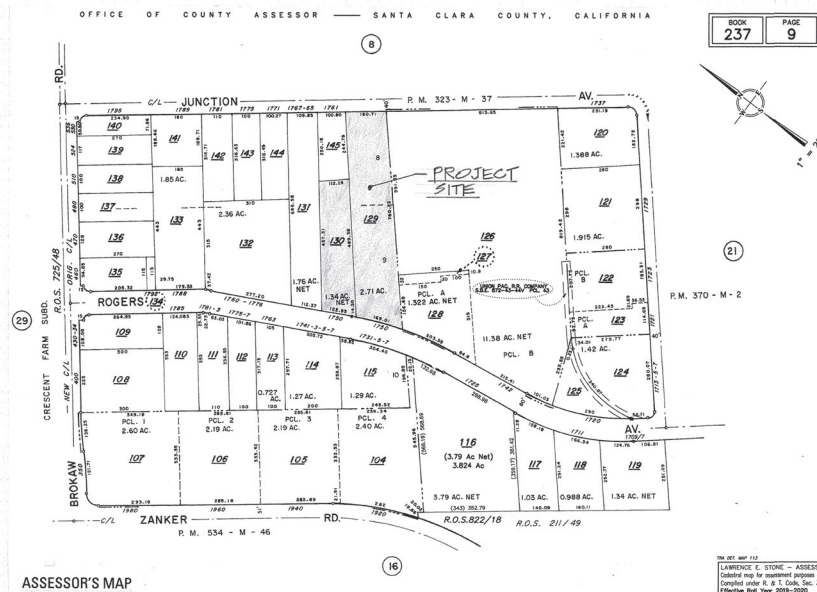
- T1 TITLE SHEET, PROJECT DATA, DRAWING INDEX
- ARCHITECTURAL**
- A0.1 OVERALL SITE (KEY) PLAN, CODE ANALYSIS
 - A1.1 SITE & ROOF PLAN - AREA WEST
 - A1.2 SITE & ROOF PLAN - AREA EAST
 - A2.1 (E) WAREHOUSE & OFFICES FLOOR PLAN
 - A2.2 SHOWROOM & WAREHOUSE FLOOR PLAN
 - A3.1 EXTERIOR ELEVATIONS
 - A3.2 BUILDING SECTIONS
 - A4 PRELIMINARY WALL SECTIONS
- CIVIL & LAND SURVEY - BY KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS**
- C1.0 TOPOGRAPHIC SURVEY WEST
 - C1.1 TOPOGRAPHIC SURVEY EAST
 - C2.0 SECTIONS
 - C3.0 PRELIMINARY GRADING & DRAINAGE PLAN - WEST
 - C3.1 PRELIMINARY GRADING & DRAINAGE PLAN - EAST
 - C4.0 PRELIMINARY STORM WATER QUALITY CONTROL PLAN
 - C4.1 PRELIMINARY STORM WATER QUALITY CONTROL DETAILS
- LANDSCAPE - BY REED ASSOCIATES LANDSCAPE ARCHITECTURE**
- L1.0 LANDSCAPE PLANTING PLAN - WEST
 - L1.1 LANDSCAPE PLANTING PLAN - EAST
 - L2.0 LANDSCAPE HYDROZONE PLAN - WEST
 - L2.1 LANDSCAPE HYDROZONE PLAN - EAST

CITY OF SAN JOSE VEHICLE PARKING REQUIREMENTS

Land Use	Vehicle Parking Code Requirement	Vehicle Parking Required	Bicycle Parking Required/Provided
Warehouse retail	A minimum of one parking space per 2,000 square feet of retail	14,000 sq ft requires minimum 7 spaces and maximum 56 spaces	1 space per 10 full-time employees
Warehouse (proposed)	floor area and a maximum of one parking space per twohundred fifty square feet of floor area	6,000 square feet of new floor area would require a total of 5 spaces	1 space per 10 full-time employees
Warehouse (Existing)	A minimum of 5 spaces for warehouses with a total gross floor area between 5,000 square feet and 25,000 square feet. For warehouses in excess of 25,000 square feet of total gross floor area, a minimum of 1 space per 5,000 square feet of gross floor area	71,608 square feet of total existing floor area would require 15 spaces	1 space per 10 full-time employees
Total Spaces		76 vehicle parking spaces are required	12 +/- bicycle spaces

Table 1: Vehicle Parking Requirements

NOTE:
SEE PARKING TABLE ON SITE PLAN A1.1 FOR ADDITIONAL INFORMATION.



ASSESSOR'S MAP

REVISIONS BY

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2	3/5/21	SM

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PROJECT:
NEW "GRANITE EXPO" SHOWROOM & REMODEL OF (E) WAREHOUSE & OFFICES
1728 & 1750 ROGERS AVENUE
SAN JOSE, CALIFORNIA

DESIGN REVIEW SET

Date 5/15/20

Scale AS NOTED

Drawn S. MENZI

Job LI

Sheet T1

Of Sheets

BUILDING CODE REVIEW:

1728 & 1750 Rogers Avenue

OCCUPANCY CLASSIFICATION, FLOOR AREAS & CONSTRUCTION TYPES

WHOLESALE USE "GRANITE EXPO"	M OCC.	14,000 SF	II-B (SPRINKLERED)
WAREHOUSE	S-1 OCC.	6,050 SF	II-B (SPRINKLERED)
(E) WAREHOUSE	S-1 OCC.	38,720 SF	II-B (SPRINKLERED)
(E) SALES SHOWROOM	M ACCESSORY OCC.	1,240 SF	II-B (SPRINKLERED)
(E) WAREHOUSE	S-1 OCC.	21,108 SF	II-B (SPRINKLERED)
(E) OFFICES	B OCC.	10,540 SF	II-B (SPRINKLERED)
TOTAL		+/-91,658 SF	II-B (SPRINKLERED)

ALLOWABLE AREAS (TABLE 506.2)

	TYPE II-B
OCCUPANCY M	50,000 SF (S1)
OCCUPANCY B	69,000 SF (SM)
OCCUPANCY S-1	70,000 SF (S1)
OCCUPANCY S-2	104,000 SF (S1)

MIXED USE & OCCUPANCY - SECTION 508

OCCUPANCY SEPARATIONS (TABLE 508.4)

OCCUPANCY	REQUIRED SEPARATION
S-1 / M	NONE
S-1 / B	NONE
S-2 / S-1	1-HR. S
S-2 / M	1-HR. S
S-2 / B	1-HR. S

INCIDENTAL USES (TABLE 509) - NOT APPLICABLE.

CONSTRUCTION TYPE & FIRE RESISTANCE RATING FOR BUILDING ELEMENTS (TABLE 601)

ADDITION & (E) BUILDING: TYPE II-B NO FIRE RESISTANCE RATINGS ARE REQUIRED FOR PRIMARY STRUCTURAL FRAME, EXTERIOR & INTERIOR BEARING & NON-WALLS, FLOOR CONSTRUCTION & SECONDARY MEMBERS & ROOF CONSTRUCTION & SECONDARY MEMBERS.

FIRE RESISTANCE FOR EXTERIOR WALLS BASED ON DISTANCE TO PROPERTY LINE (TABLE 602)

OCC. GROUPS	CONSTR. TYPE	EXT. WALL, BEARING & NON-BEARING
M, B, S-2, S-1	II-B	0 HR. 10 FT - 30 FT

COMBUSTIBLE MATERIALS IN TYPE I & II CONSTRUCTION - SECTION 603

SEE SECTIONS 603.1 & 603.1.1 THROUGH 603.1.3.

EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE (TABLE 705.8)

FIRE SEPARATION DISTANCE	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA
20 FT - 25 FT	UNPROTECTED, SPRINKLERED	NO LIMIT

MEANS OF EGRESS - OCCUPANT LOAD (TABLE 1004.1.2)

WHOLESALE SHOWROOM	MERCANTILE	60 SF PER OCCUPANT
BUSINESS	WAREHOUSE	100 SF PER OCCUPANT
STORAGE	WAREHOUSE	500 SF PER OCCUPANT

NUMBER OF EXITS - SECTION 1006, TABLE 1006.2.1

"GRANITE EXPO" SHOWROOM	14,000 SF / 60 = 234 OCCUPANTS	TWO EXITS
WAREHOUSE	6,050 SF / 500 = 13 OCCUPANTS	TWO EXITS
(E) WAREHOUSE	38,720 SF / 500 = 78 OCCUPANTS	TWO EXITS
(E) WAREHOUSE	21,108 SF / 500 = 43 OCCUPANTS	TWO EXITS

EXIT WIDTH (1005) AND DOORS (1010)

WHOLESALE SPACES	234 OCCUPANTS TOTAL / 2 EXITS = 117 OCCUPANTS	117 x 0.2 = 23.4" MIN. REQ'D. EXIT WIDTH
WAREHOUSE AREAS	13 OCCUPANTS TOTAL / 2 EXITS = 7 OCCUPANTS	7 x 0.2 = 1.4" MIN. REQ'D. EXIT WIDTH

ALL EXIT DOORS ARE REQ'D. FOR TO SWING IN DIRECTION OF TRAVEL PER CBC 1010.1.2.1 BECAUSE BUILDING'S TOTAL OCCUPANT LOAD EXCEEDS 50. PANIC BARS ARE NOT REQ'D. PER 1010.1.10.

EXIT & EXIT ACCESS DOORWAY CONFIGURATION - SECTION 1007

PROPOSED EXITS SHALL BE PLACED A DISTANCE APART EQUAL AND NOT LESS THAN ONE THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED MEASURED IN A STRAIGHT LINE PER CBC 1007.1.1 - SEE FLOOR PLANS.

EXIT SIGNS - PER SECTION 1013

EXIT ACCESS - SECTION 1016

EXITS ARE ALLOWED THROUGH INTERVENING SPACES PER CBC 1016.2.2 - SEE FLOOR PLANS.

EXIT ACCESS & TRAVEL DISTANCE (TABLE 1017.2)

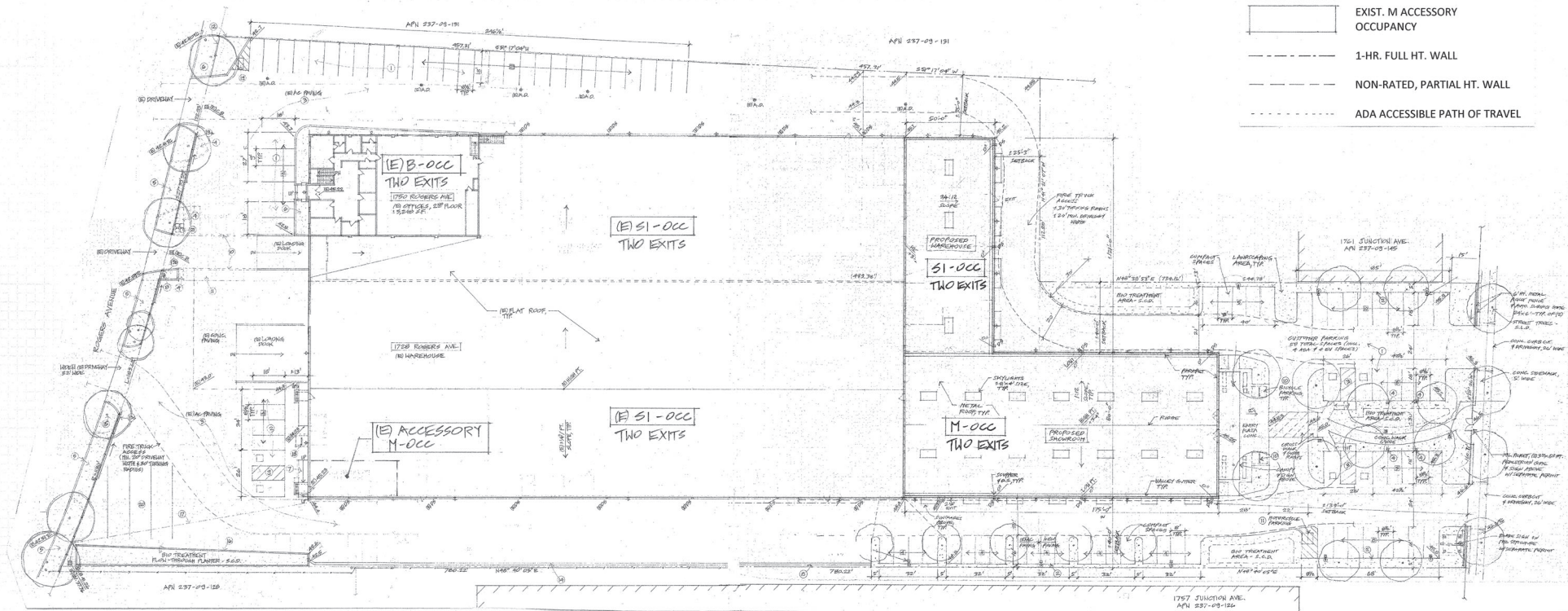
	SPRINKLERED
OCCUPANCY M	250 FT
OCCUPANCY S-1	250 FT
OCCUPANCY B	300 FT
OCCUPANCY S-2	400 FT

MAX. TRAVEL DISTANCE IS APPROX. 175 FT. IN SHOWROOM & APPROX. 100 FT. IN WAREHOUSE; EXISTING MAX. TRAVEL DISTANCE IS APPROX. 100 FT. IN (E) OFFICES & APPROX. 200 FT. IN (E) WAREHOUSE - SEE FLOOR PLANS (V.I.F.)

ACCESSIBILITY - PER CHAPTER 11B

LEGEND

	M OCCUPANCY, EXIST. B OCCUPANCY
	S-1 OCCUPANCY
	EXIST. S-1 OCCUPANCY
	EXIST. M ACCESSORY OCCUPANCY
	1-HR. FULL HT. WALL
	NON-RATED, PARTIAL HT. WALL
	ADA ACCESSIBLE PATH OF TRAVEL



OVERALL SITE PLAN / CODE ANALYSIS

1" = 40'-0"

NOTES: 1. EXISTING BUILDINGS ARE SPRINKLERED AND SPRINKLERS WILL BE EXTENDED TO BUILDING ADDITION.



REVISIONS BY

1	2/17/20	SM

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PROJECT: NEW "GRANITE EXPO" SHOWROOM & REMODEL OF (E) WAREHOUSE & OFFICES
 1728 & 1750 ROGERS AVENUE
 SAN JOSE, CALIFORNIA

Date: 5/15/20
 Scale: AS NOTED
 Drawn: S. MENZI
 Job: LI
 Sheet: A0.1
 Of: 1
 Sheets

PARKING TABLE - COMBINED FOR ROGERS AVENUE & JUNCTION AVENUE AREAS

TYPE OF SPACE	PROPOSED	REQUIRED	SIZE, COMMENTS
ACCESSIBLE	4 CUSTOMER	3(*) AT JUNCTION AVE.	9' x 18' W/ 8' AISLE
	2 STAFF (****)	1(*) AT ROGERS AVE.	(*) PER CBC2019, CHAPTER 11B
STANDARD / UNIVERSAL	28(****) CUSTOMER	56 (MAX. 1 SPACE / 250 S.F. & MIN. 1 SPACE / 2,000 SF WHOLESALE USE)	9' x 18' OR 8 1/2' x 17' AS NOTED AT JUNCTION AVE.
		5 SPACES (FOR 5,000 - 25,000 S.F. OF NEW WAREHOUSE USE)	
COMPACT	34 STAFF 4 STAFF (****)	15 SPACES (1 SPACE / 5,000 S.F. EXIST. WAREHOUSE USE)	9' x 18' OR 8 1/2' x 17' AS NOTED AT ROGERS AVE.
	25 CUSTOMER		8' x 16' AT JUNCTION AVE. (***) INCLUDES 8 ELECTRIC VEHICLE SPACES, 9' x 18' (MIN. ONE IS ACCESSIBLE) (****) SPACE MAY ALSO BE USED FOR CUSTOMER PICK-UPS ON ROGERS AVE.

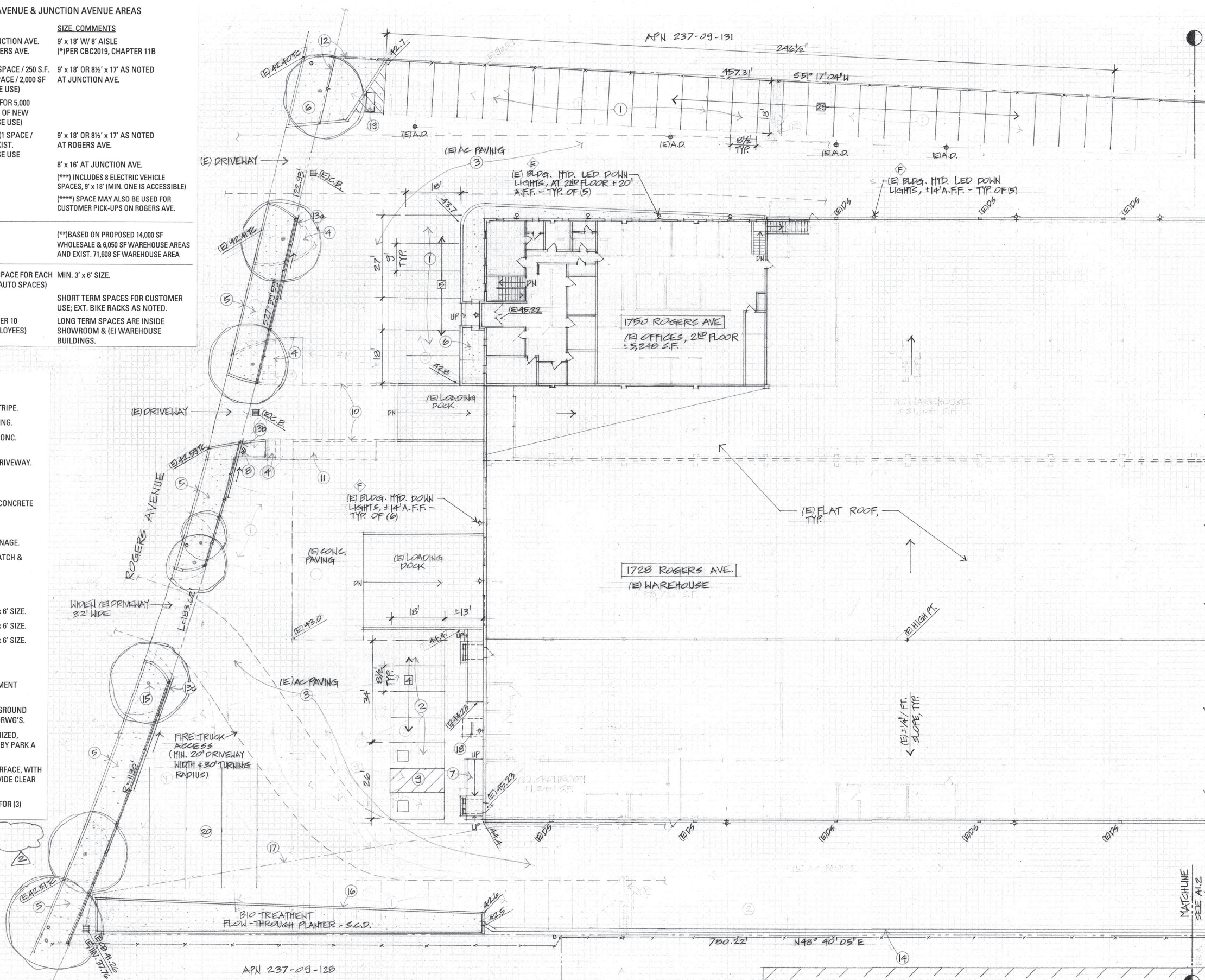
TOTALS 97 (40 ON ROGERS AVE., 76(**) 57 ON JUNCTION AVE.) (**) BASED ON PROPOSED 14,000 SF WHOLESALE & 6,050 SF WAREHOUSE AREAS AND EXIST. 71,808 SF WAREHOUSE AREA

MOTORCYCLES 3 (1 ON ROGERS AVE., 2 ON JUNCTION AVE.) 2 (1 SPACE FOR EACH MIN. 3' x 6' SIZE. 50 AUTO SPACES)

BICYCLES +/-15 (5 ON ROGERS AVE., 10 ON JUNCTION AVE.) +/-8 3 (1 PER 10 EMPLOYEES) SHORT TERM SPACES FOR CUSTOMER USE; EXT. BIKE RACKS AS NOTED. LONG TERM SPACES ARE INSIDE SHOWROOM & (E) WAREHOUSE BUILDINGS.

SITE PLAN NOTES:

- 1 (E) STAFF PARKING - RESTRIPE.
- 2 (E) CUSTOMER PICK-UP / STAFF PARKING - RESTRIPE.
- 3 (E) AC PAVING - REPLACE WITH CONCRETE PAVING.
- 4 MODIFIED (E) PLANTER, REPLACE CURB & ADD CONC. PAVING
- 5 EXTEND / ENLARGE (E) PLANTER AT REMOVED DRIVEWAY. ADD CURB & LANDSCAPING, TYP.
- 6 (E) PLANTER, REPLACE LANDSCAPING, TYP.
- 7 ADA RAMP & STEPS AT REMODELED LANDING; CONCRETE WITH MTL. RAILINGS.
- 8 (E) FIRE HYDRANT.
- 9 (2) ADA PARKING STALLS - RESTRIPE & ADD SIGNAGE.
- 10 REMOVE (E) CONCRETE CURB, ALIGN PAVING; PATCH & REPAIR AS NEEDED.
- 11 ADD PAVING AT REMOVED PLANTER.
- 12 6' MTL. PICKET REPLACEMENT FENCE.
- 13a MTL. PICKET AUTO. SLIDING GATE; APPROX. 30' x 6' SIZE.
- 13b MTL. PICKET AUTO. SLIDING GATE; APPROX. 20' x 6' SIZE.
- 13c MTL. PICKET AUTO. SLIDING GATE; APPROX. 40' x 6' SIZE.
- 14 REPLACED (E) CONC. SWALE.
- 15 (E) STREET TREE - TYP. OF (8).
- 16 6" CONC. CURB WITH CURB CUTS AT BIO TREATMENT PLANTER - SEE CIVIL DRWG'S.
- 17 (E) RAINWATER LEADER CONNECTED TO UNDERGROUND SD LINE, TERMINATED AT (E) INLET - SEE CIVIL DRWG'S.
- 18 STEEL BIKE RACK FOR MAX. 5 BICYCLES; GALVANIZED, IN GROUND MOUNTED - "WAVERUNNER WR406" BY PARK A BIKE, INC. OR EQUAL.
- 19 MOTORCYCLE PARKING SPACE(S), ON PAVED SURFACE, WITH PAINTED STRIPING, MIN. 3' x 6' SIZE. ALLOW 3' WIDE CLEAR SPACE TO ADJACENT AUTO PARKING STALL.
- 20 AREA FOR DELIVERY TRUCK PARKING, STRIPING FOR (3) SPACES, APPROX. 12' x 40' SIZE EACH.



SITE & ROOF PLAN - WEST
1/16" = 1'-0"

NOTES: 1. FOR EXT. LIGHT FIXTURE SCHEDULE SEE SITE PLAN A1.2

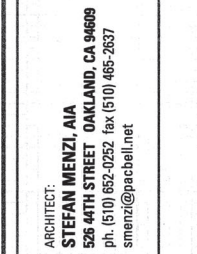
REVISIONS	BY
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2	3/5/21 SH

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PROJECT: **NEW "GRANITE EXPO" SHOWROOM & REMODEL OF (E) WAREHOUSE & OFFICES**
1728 & 1750 ROGERS AVENUE
SAN JOSE, CALIFORNIA

Date: 5/15/20
Scale: AS NOTED
Drawn: S. MENZI
Job: LI
Sheet: **A1.1**
Of: 5 Sheets



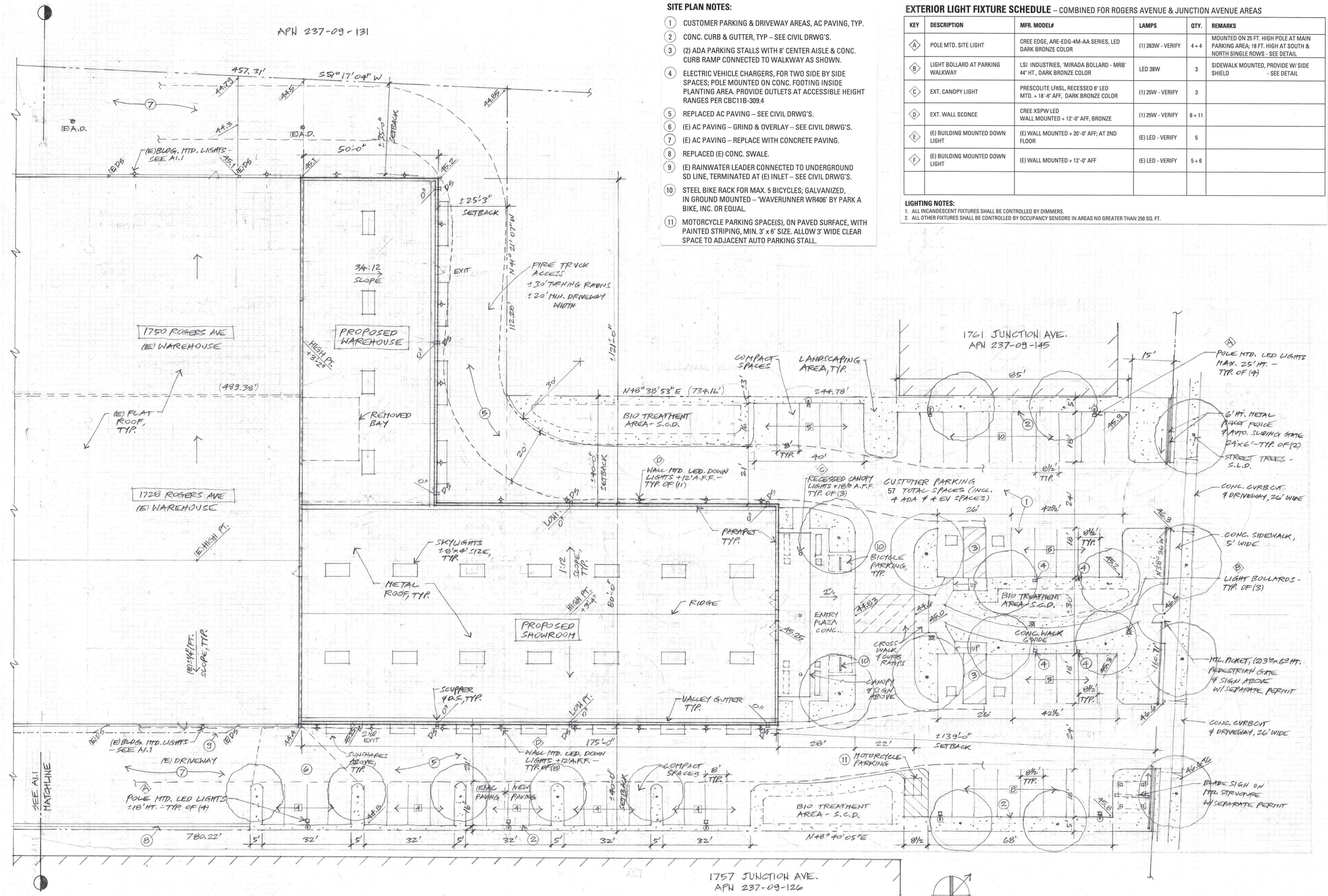
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- SITE PLAN NOTES:**
- CUSTOMER PARKING & DRIVEWAY AREAS, AC PAVING, TYP.
 - CONC. CURB & GUTTER, TYP - SEE CIVIL DRWG'S.
 - ADA PARKING STALLS WITH 8' CENTER AISLE & CONC. CURB RAMP CONNECTED TO WALKWAY AS SHOWN.
 - ELECTRIC VEHICLE CHARGERS, FOR TWO SIDE BY SIDE SPACES; POLE MOUNTED ON CONC. FOOTING INSIDE PLANTING AREA. PROVIDE OUTLETS AT ACCESSIBLE HEIGHT RANGES PER CBC11B-309.4
 - REPLACED AC PAVING - SEE CIVIL DRWG'S.
 - (E) AC PAVING - GRIND & OVERLAY - SEE CIVIL DRWG'S.
 - (E) AC PAVING - REPLACE WITH CONCRETE PAVING.
 - REPLACED (E) CONC. SWALE.
 - (E) RAINWATER LEADER CONNECTED TO UNDERGROUND SD LINE, TERMINATED AT (E) INLET - SEE CIVIL DRWG'S.
 - STEEL BIKE RACK FOR MAX. 5 BICYCLES; GALVANIZED, IN GROUND MOUNTED - "WAVERUNNER WR406" BY PARK A BIKE, INC. OR EQUAL.
 - MOTORCYCLE PARKING SPACE(S), ON PAVED SURFACE, WITH PAINTED STRIPING, MIN. 3' x 6' SIZE. ALLOW 3' WIDE CLEAR SPACE TO ADJACENT AUTO PARKING STALL.

EXTERIOR LIGHT FIXTURE SCHEDULE - COMBINED FOR ROGERS AVENUE & JUNCTION AVENUE AREAS

KEY	DESCRIPTION	MFR. MODEL#	LAMPS	QTY.	REMARKS
A	POLE MTD. SITE LIGHT	CREE EDGE, ARE-EDG-4M-AA SERIES, LED DARK BRONZE COLOR	(1) 263W - VERIFY	4+4	MOUNTED ON 25 FT. HIGH POLE AT MAIN PARKING AREA; 18 FT. HIGH AT SOUTH & NORTH SINGLE ROWS - SEE DETAIL
B	LIGHT BOLLARD AT PARKING WALKWAY	LSI INDUSTRIES, 'MIRADA BOLLARD - MRB' 44" HT., DARK BRONZE COLOR	LED 36W	3	SIDEWALK MOUNTED, PROVIDE W/ SIDE SHIELD - SEE DETAIL
C	EXT. CANOPY LIGHT	PRESCOLITE LPSSL, RECESSED 6" LED MTD., +18" AFF, DARK BRONZE COLOR	(1) 25W - VERIFY	3	
D	EXT. WALL SCONCE	CREE XSPW LED WALL MOUNTED +12" AFF, BRONZE	(1) 25W - VERIFY	8+11	
E	(E) BUILDING MOUNTED DOWN LIGHT	(E) WALL MOUNTED +20" AFF, AT 2ND FLOOR	(E) LED - VERIFY	5	
F	(E) BUILDING MOUNTED DOWN LIGHT	(E) WALL MOUNTED +12" AFF	(E) LED - VERIFY	5+6	

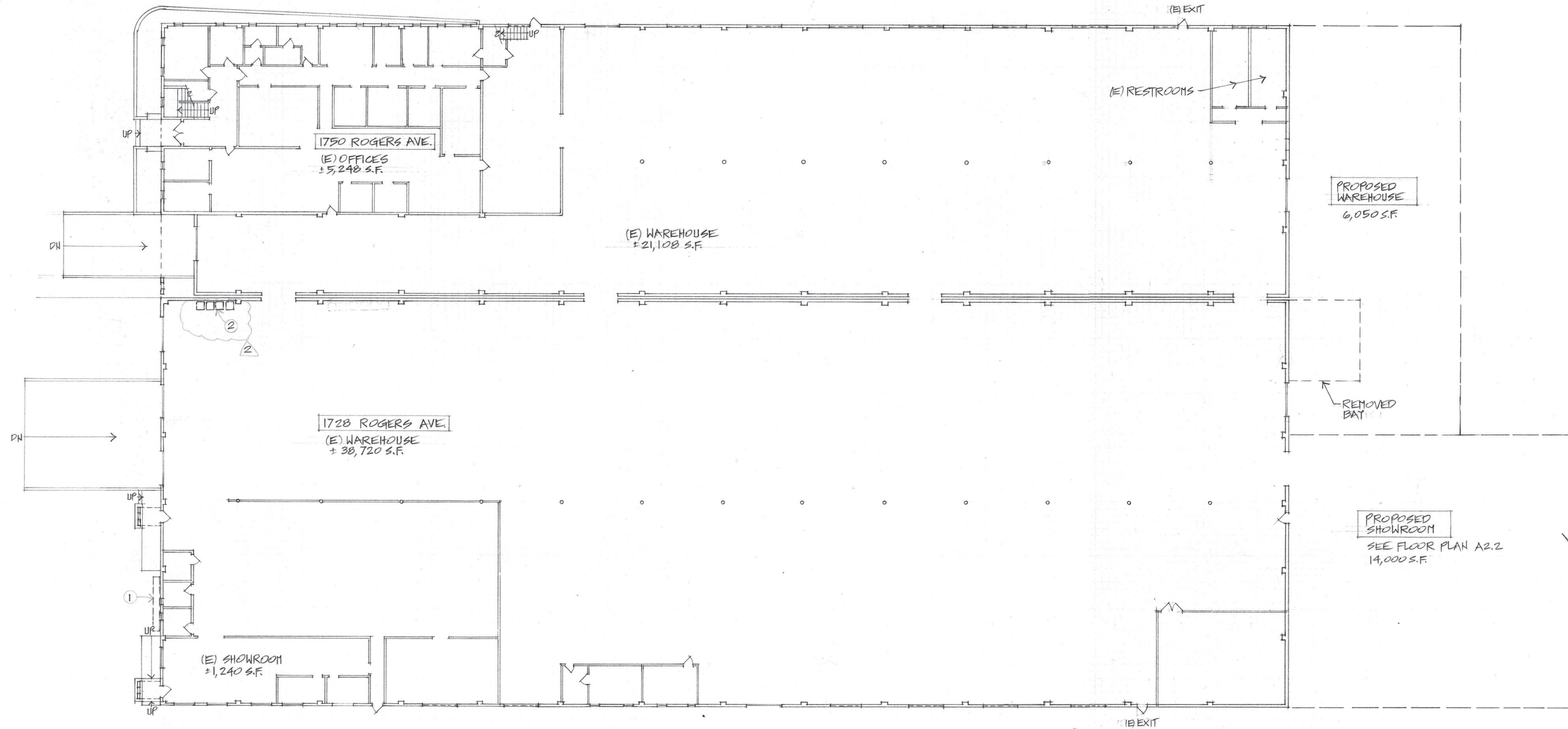
- LIGHTING NOTES:**
- ALL INCANDESCENT FIXTURES SHALL BE CONTROLLED BY DIMMERS.
 - ALL OTHER FIXTURES SHALL BE CONTROLLED BY OCCUPANCY SENSORS IN AREAS NO GREATER THAN 250 SQ. FT.



SITE & ROOF PLAN - EAST
 1/16" = 1'-0"
 NOTES: 1. FOR PARKING TABLE SEE SITE PLAN A1.1

FLOOR PLAN NOTES:

- ① BUILDING MOUNTED FABRIC AWNING WITH SIGN - BY OWNER. (SEPARATE SIGNAGE PERMIT)
- ② TRASH & RECYCLING BINS FOR WEEKLY CITY PICK-UP - AREA DESIGNATED BY OWNER - VERIFY BIN QUANTITY & SIZE WITH SAN JOSE REPUBLIC SERVICES AT (408) 432-1234.



(E) WAREHOUSE & OFFICES FLOOR PLAN
1/8" = 1'-0"



REVISIONS	BY
2	3/5/21 SM



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PROJECT:
NEW "GRANITE EXPO" SHOWROOM & REMODEL OF (E) WAREHOUSE & OFFICES
 1728 & 1750 ROGERS AVENUE
 SAN JOSE, CALIFORNIA

Date 5/15/20

Scale AS NOTED

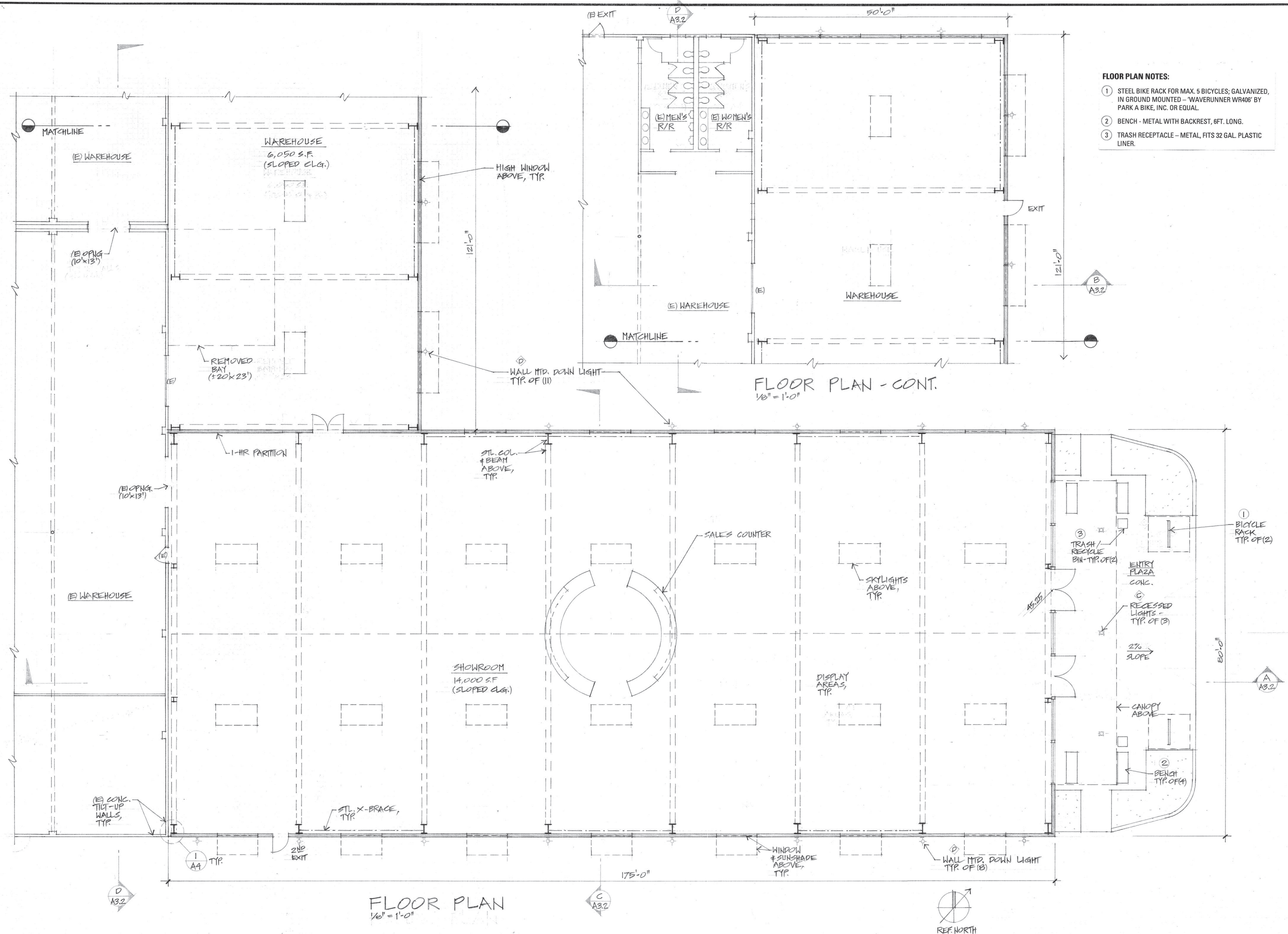
Drawn S. MENZI

Job LI

Sheet

A2.1

Of Sheets



- FLOOR PLAN NOTES:**
- 1 STEEL BIKE RACK FOR MAX. 5 BICYCLES; GALVANIZED, IN GROUND MOUNTED - 'WAVERUNNER WR406' BY PARK A BIKE, INC. OR EQUAL.
 - 2 BENCH - METAL WITH BACKREST, 6FT. LONG.
 - 3 TRASH RECEPTACLE - METAL, FITS 32 GAL. PLASTIC LINER.

FLOOR PLAN - CONT.
1/8" = 1'-0"

FLOOR PLAN
1/8" = 1'-0"

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REMODEL OF (E) WAREHOUSE & OFFICES
 1728 & 1750 ROGERS AVENUE
 SAN JOSE, CALIFORNIA

Date: 5/15/20
 Scale: AS NOTES
 Drawn: S. MENZI
 Job: LI
 Sheet: **A2.2**
 Of: 2 Sheets

REVISIONS	BY
12/7/20	SM

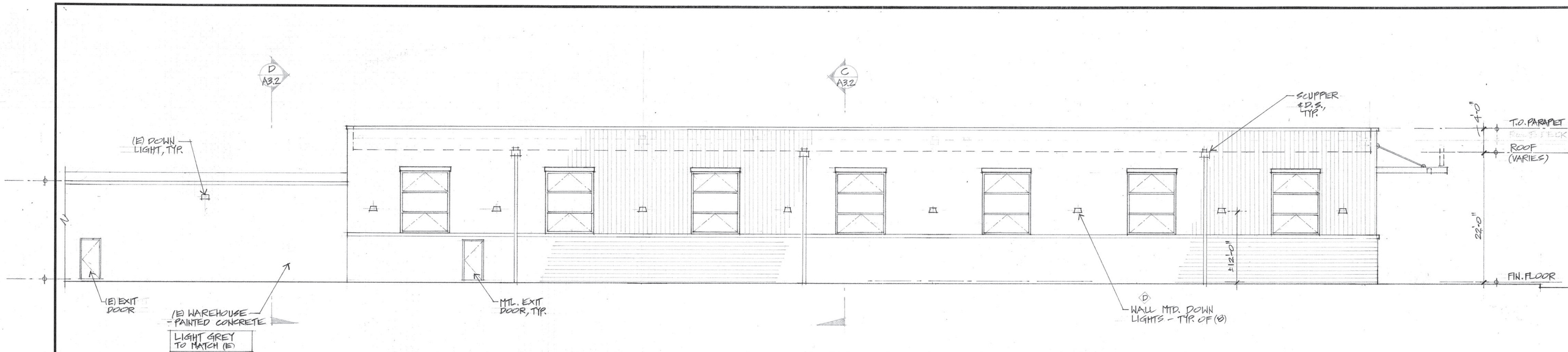
LICENSED ARCHITECT
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 No. C-27904
 10/31/20
 RENEWAL DATE
 STATE OF CALIFORNIA

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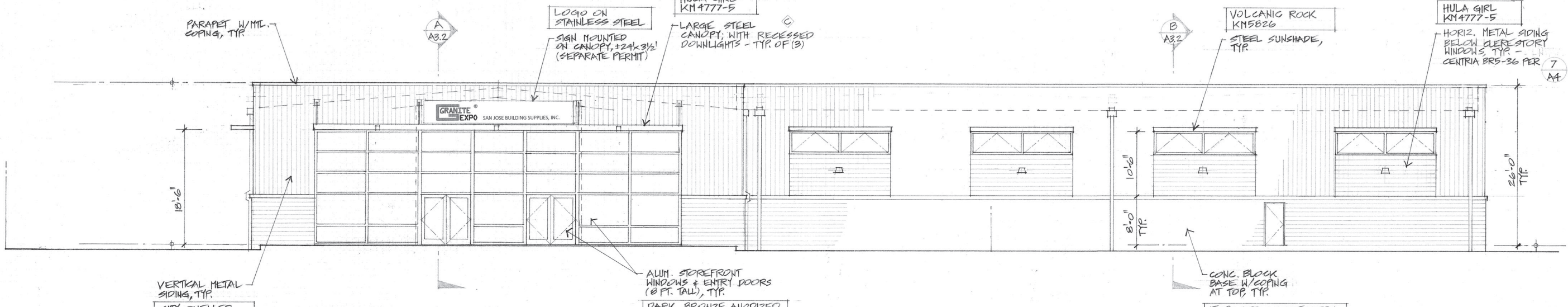
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PROJECT:
 NEW "GRANITE EXPO" SHOWROOM &
 REMODEL OF (E) WAREHOUSE & OFFICES
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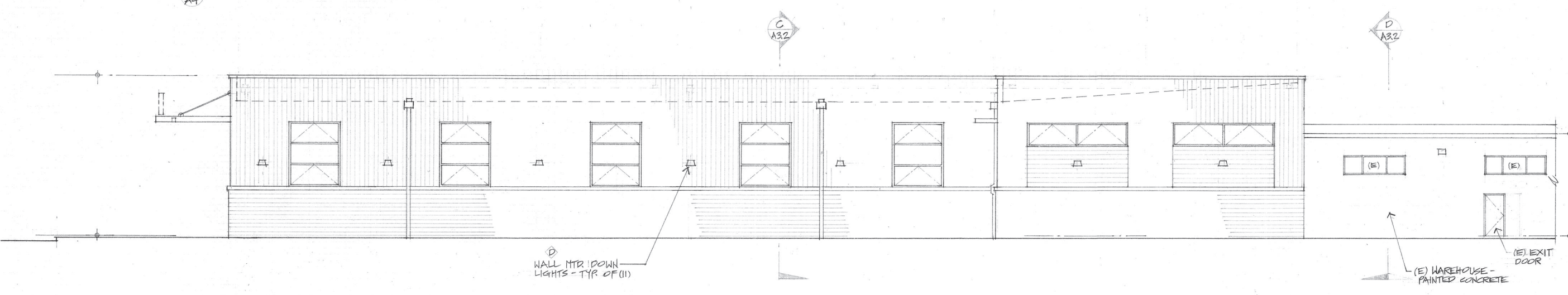
Date 5/15/20
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 Job LI
 Sheet
A3.1
 Of Sheets



SOUTH ELEVATION
1/8" = 1'-0"



EAST (FRONT) ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

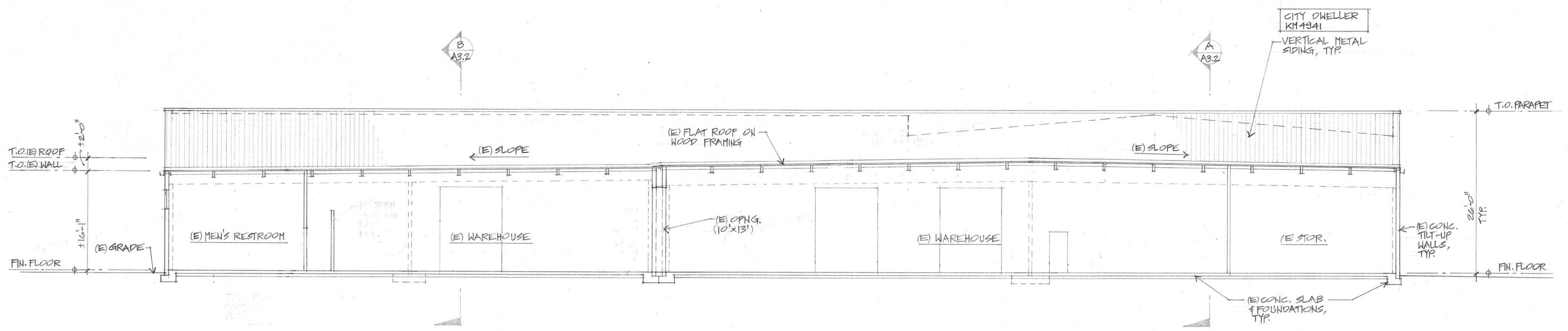
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12/17/20	SM

LICENSED ARCHITECT
 STATE OF CALIFORNIA
 No. 27994
 10/31/21
 RENEWAL DATE
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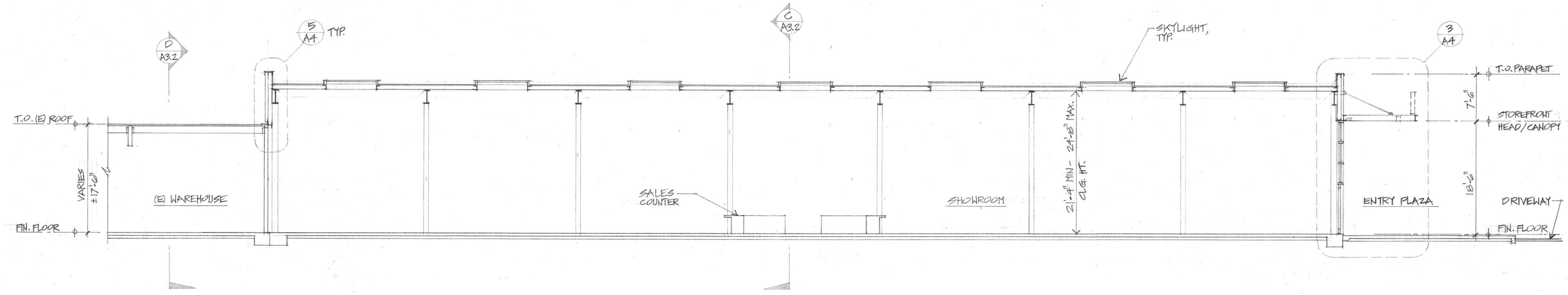
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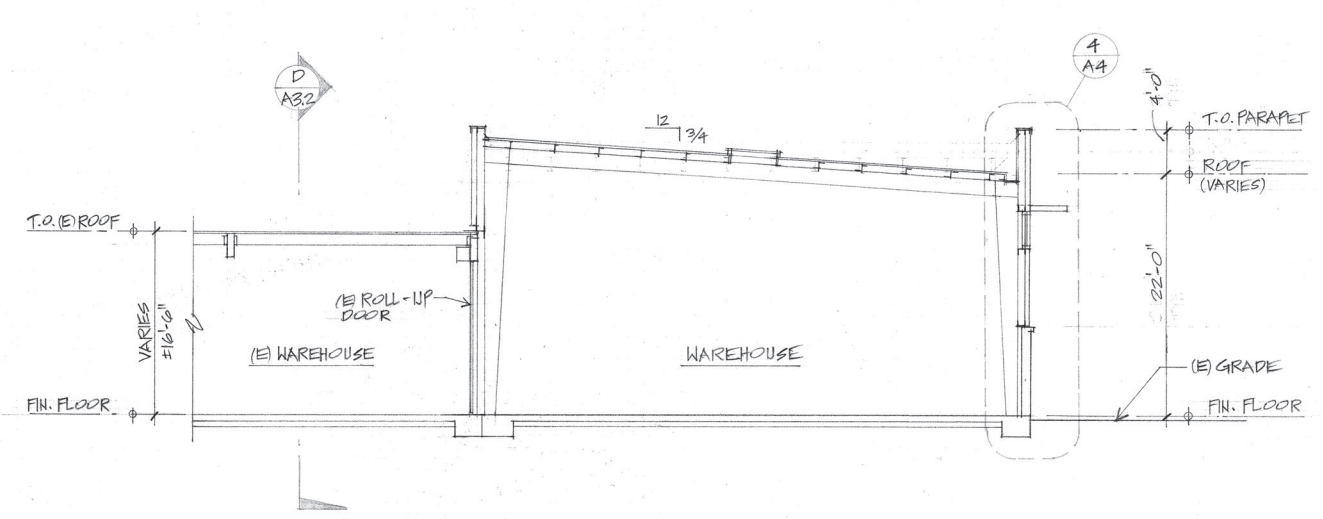
Date 5/15/20
 Scale AS NOTED
 Drawn S.MENZI
 Job LI
 Sheet
A3.2
 Of Sheets



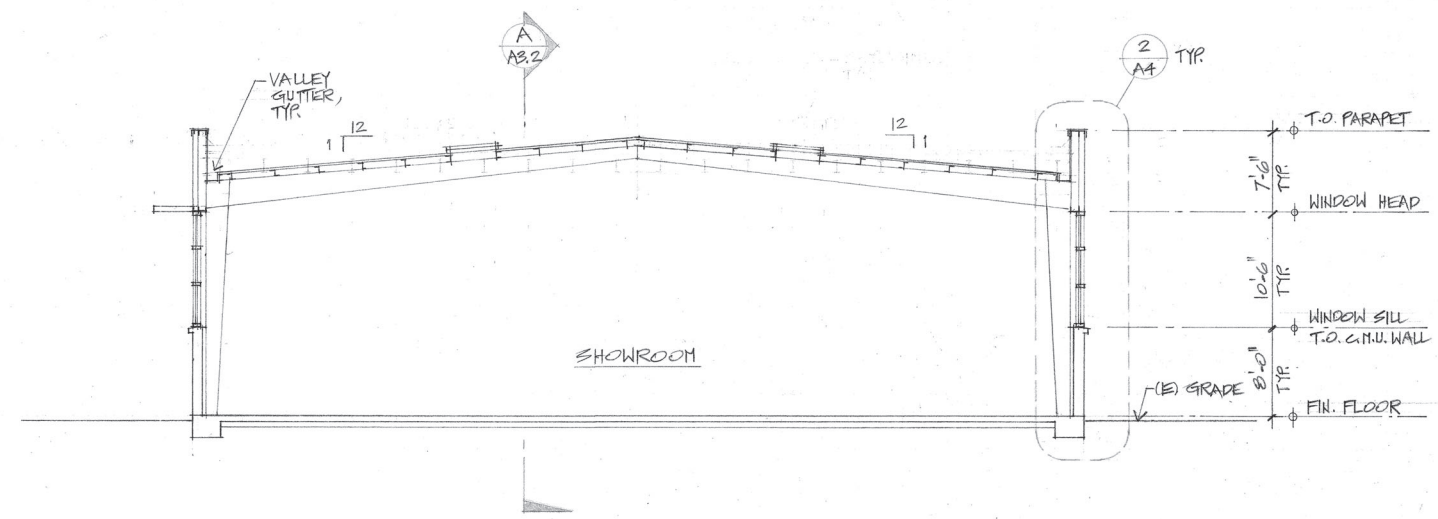
WEST ELEVATION / SECTION D
 1/8" = 1'-0"



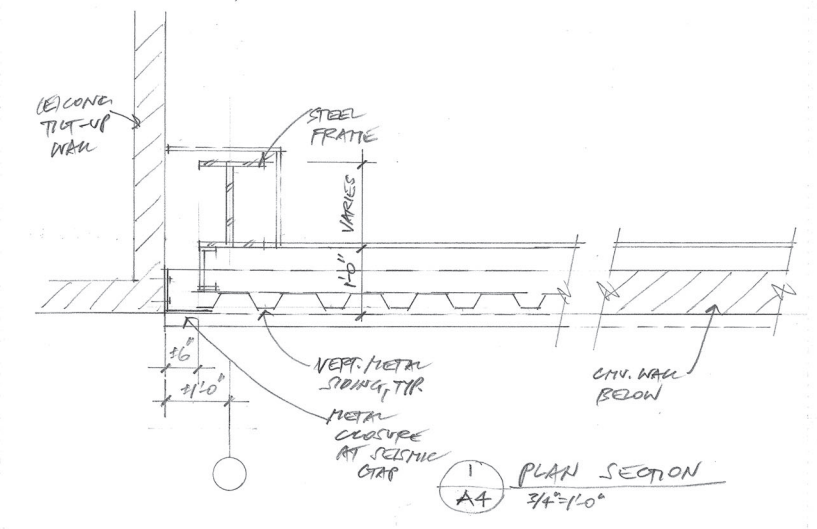
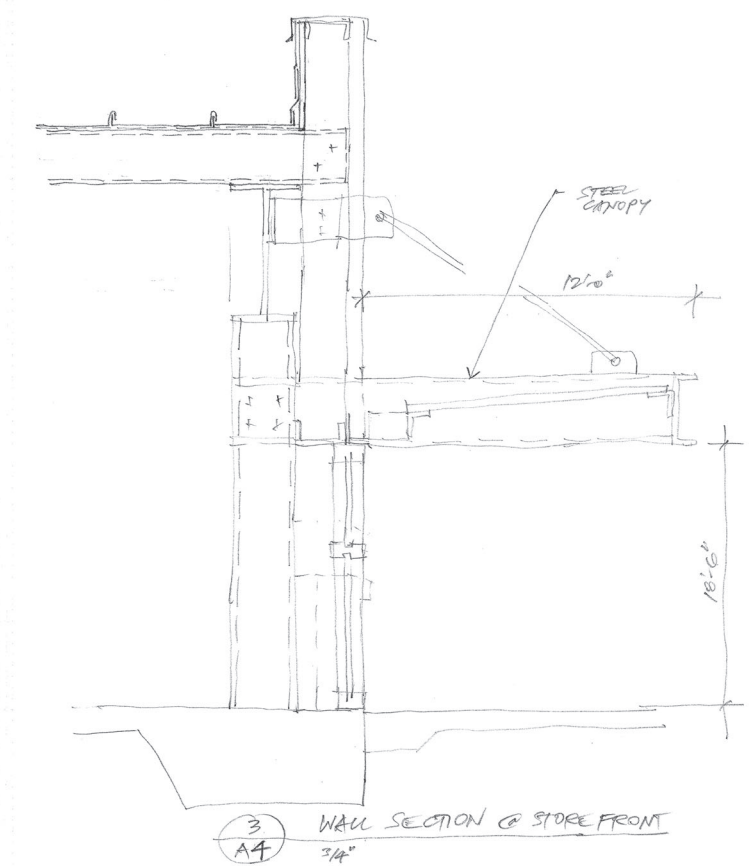
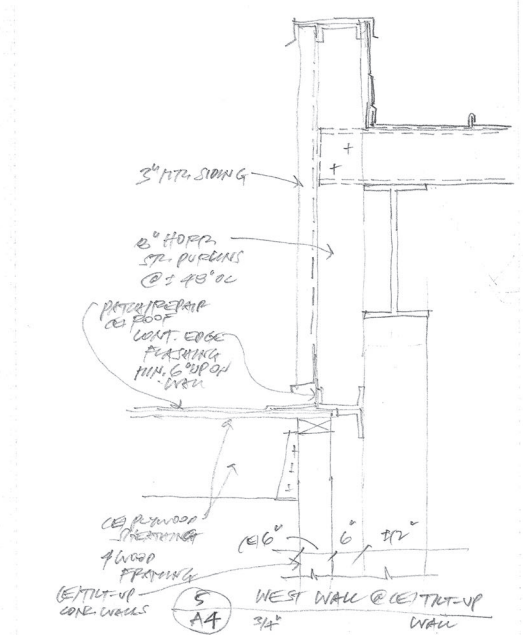
SECTION A
 1/8" = 1'-0"



SECTION B
 1/8" = 1'-0"



SECTION C
 1/8" = 1'-0"



CENTRIA PRODUCTS MARKET SEGMENTS DESIGN GALLERY TOOLS & RESOURCES ABOUT US

Horizontal Profile Vertical Profile

MR3-36
Product Description

The 3" [76 mm] depth MR3-36 provides sturdy construction which allows for longer spans and a reduction in the number of supports required. As a wall panel, MR3-36 side laps in the low cell. As a roof panel, MR3-36 is inverted and side laps in the high cell.

CONTACT US → COLOR SAMPLE →

Panel Length	Panel Width	Panel Depth	Surface Finish	Substrates
Standard: 9'11.52in - 49' (2.19m)	36" (914mm)	3" (76mm)	Standard: Smooth Optional: Embossed	Standard: 22-20 gauge G-90 Galvanized Steel Optional: Aluminum Stainless Steel

6 VERTICAL METAL SIDING
N.T.S.

CENTRIA PRODUCTS MARKET SEGMENTS DESIGN GALLERY TOOLS & RESOURCES ABOUT US

Horizontal Profile Vertical Profile

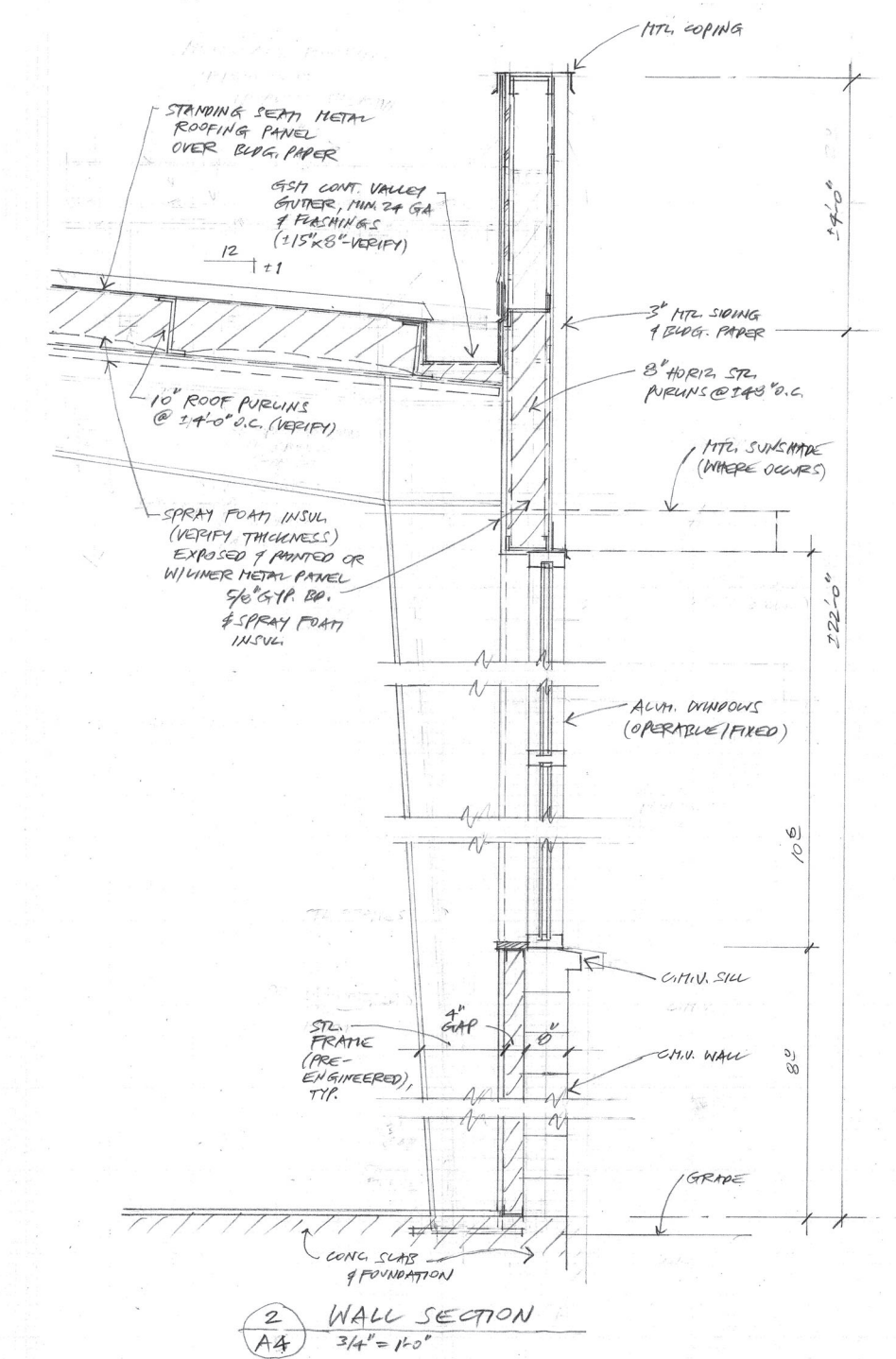
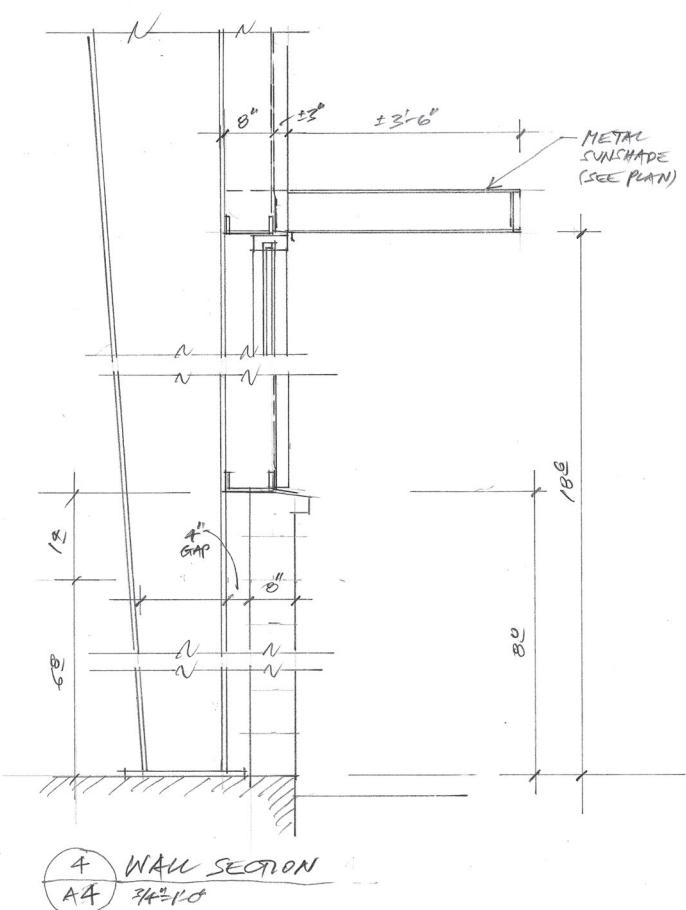
BR5-36
Product Description

BR5-36 is a sturdy panel with 36" [914 mm] coverage, and uniformly spaced ribs at 7.2" [183 mm] o/c. As a wall panel BR5-36 laps in the low cell. As a roof panel, BR5-36 is inverted so that the side lap occurs in the high cell.

CONTACT US → COLOR SAMPLE →

Panel Length	Panel Width	Panel Depth	Surface Finish	Substrates
Standard: 9'11.52in - 49' (2.19m)	36" (914mm)	1.12" (28mm)	Standard: Smooth Optional: Non-Directional Embossing	Standard: 24 - 18 gauge G-90 Galvanized Steel Optional: Aluminum Stainless Steel

7 HORIZONTAL METAL SIDING
N.T.S.



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 Scale: AS NOTED
 Drawn: S. MENZI
 Job: LI
 Sheet: **A4**
 Of: 4 Sheets