

2740 RUBY AVENUE WAT KHMER KAMPUCHEA KROM TEMPLE

REV	ISSUED FOR	DATE
CUP		01/07/20
REV 1 SUP		03/26/21
REV 2 SUP		10/19/21
REV 3 SUP		02/09/22

PROJECT DESCRIPTION

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THE PROJECT PROPOSES THE CONSTRUCTION OF A TRADITIONAL CAMBODIAN BUDDHIST TEMPLE TO SERVE THE EXISTING LOCAL KHMER KROM RELIGIOUS COMMUNITY, WHOSE CURRENT TEMPLE FUNCTIONS OUT OF A CONVERTED RESIDENCE AT A DIFFERENT SITE IN SAN JOSE. THE PROJECT INCLUDES THE REZONING OF THE SITE TO THE PUBLIC/QUASI-PUBLIC ZONING DISTRICT, WHICH ALLOWS CHURCH/RELIGIOUS ASSEMBLY USES UPON ISSUANCE OF A SPECIAL USE PERMIT. TWENTY TWO ORDINANCE-SIZE TREES ARE PROPOSED TO BE REMOVED. THE PROJECT SIZE AND TOTAL SQUARE FOOTAGE ARE DESIGNED TO MEET THE MINIMUM NEEDS OF THE RELIGIOUS COMMUNITY. IT IS COMPRISED OF TWO BUILDINGS - A TEMPLE SANCTUARY AND COMMUNITY BUILDING - EACH SET ON EITHER SIDE OF A MAIN CENTRAL COURTYARD. THE PROJECT IS SERVED BY A SURFACE PARKING LOT WITH AN ENTRY DRIVE LOCATED ALONG RUBY AVE. THE MAIN COURTYARD SERVES AS THE ENTRY POINT FOR ALL TEMPLE VISITORS VIA TWO CEREMONIAL ENTRY GATES, ONE AT EACH SIDE WHICH REPRESENT THE FORMAL ENTRY TO SACRED SPACE. THE SOUTH GATE PROVIDES ACCESS DIRECTLY FROM THE SIDEWALK ON NORWOOD AVENUE WHILE THE NORTH GATE GIVES ACCESS FROM THE PARKING LOT AT THE INTERIOR OF THE SITE.

THE TEMPLE SANCTUARY BUILDING IS INTENDED FOR RELIGIOUS WORSHIP AND MEDITATION SERVICES. AS THE MOST IMPORTANT BUILDING, IT IS ORIENTED TO THE PUBLIC CORNER OF THE SITE NEAREST THE INTERSECTION OF RUBY AND NORWOOD AVENUES. IT IS INTENTIONALLY SET BACK FROM THE SIDEWALKS, ALLOWING GARDEN SPACES TO WRAP ALONG THE TWO STREET FRONTAGES ON THIS CORNER PROPERTY. A PERIMETER ARCADE PROVIDES SHADED CIRCULATION SPACE PROTECTED FROM THE ELEMENTS. BEYOND IN THE LANDSCAPE, A WALKWAY FOR RELIGIOUS PROCESSION FOLLOWS THE GARDENS AROUND THREE SIDES OF THE BUILDING. THE FOURTH SIDE FACES THE COMMUNITY BUILDING AND THE TWO BUILDINGS TOGETHER FORM A MAIN COURTYARD AT THE INTERIOR OF THE SITE.

THE COMMUNITY BUILDING IS A MULTI-USE STRUCTURE CHARACTERIZED BY A SERIES OF SMALLER ROOF VOLUMES WHICH SUBDIVIDE THE BUILDING INTO THREE DISTINCT WINGS OF VARYING HEIGHTS CORRESPONDING TO ITS HORSESHOE-SHAPED GEOMETRY. A COVERED ARCADE WRAPS THE THREE INWARD SIDES FORMING THE MAIN COURTYARD. THE MAJORITY OF THE BUILDING IS OF A SINGLE STORY. IT HOUSES ON THE FIRST FLOOR A COMMUNITY HALL FOR GATHERING AND CELEBRATION OF MEALS; A FINISHING KITCHEN; A RELIGIOUS LIBRARY WHICH ALSO ACTS AS A RELIGIOUS CLASSROOM; AND OFFICE AND BATHROOM SPACES. A SMALL PORTION OF THE COMMUNITY BUILDING HAS A SECOND FLOOR, INTENTIONALLY LOCATED AT ITS NORTHERN SIDE AT THE MOST INTERIOR AND PRIVATE PORTION OF THE PROPERTY. THE SECOND FLOOR HOUSES THE MONKS' RESIDENCE FOR 8 FULLTIME RESIDENTS OF THE PROPERTY. SMALL BASEMENT SPACES ARE PROVIDED IN BOTH BUILDINGS FOR MECHANICAL AND ELECTRICAL EQUIPMENT.

THE BUILDING FORMS AND PERIMETER WALLS CREATE OUTDOOR SPACES IN THE FORM OF COURTYARDS AND GARDENS, ENHANCED BY PLANTINGS, TREES, AND A FOUNTAIN. THE GARDENS CONTAIN SACRED SPACES FOR QUIET MEDITATION AND REFLECTION BY BOTH RESIDENTS AND VISITORS. FULL SIDEWALK AND STREET FRONTAGE IMPROVEMENTS ARE PROPOSED INCLUDING NEW STREET TREES AND PLANTING ALONG BOTH RUBY AND NORWOOD AVENUES.

THE PROJECT IS BOTH COMPATIBLE WITH AND COMPLIMENTARY TO THE SURROUNDING NEIGHBORHOOD IN TERMS OF SITE PLACEMENT, BUILDING SCALE, AND USE OF COMMON BUILDING ELEMENTS SUCH AS HIPPED AND GABLE ROOF FORMS, COVERED PORCHES, FINISH MATERIALS AND LANDSCAPING. THE PROJECT'S USE AND OPERATION PLAN ARE ALSO COMPARABLE TO THOSE OF OTHER NEARBY RELIGIOUS ASSEMBLY USES.

PROJECT DATA

PROPERTY INFORMATION:

PROPERTY ADDRESS (PRIMARY)	2740 RUBY AVENUE, SAN JOSE, CA 95148	
APN#	652-29-014	
ZONING DESIGNATION	(EXISTING) R-1-5, (PROPOSED) PQP	
PROPOSED USE	CHURCH/RELIGIOUS ASSEMBLY	

ZONING INFORMATION (PQP)**:

SETBACKS:	REQUIRED:	PROPOSED*:
FRONT (WEST)	10'	32' - 1"
FRONT (SOUTH)	10'	10' - 1"
SIDE (NORTH)	10'	60' - 0"
SIDE (EAST)	10'	137' - 4"
SIDE (SOUTH)	10'	93' - 0"
REAR (NORTH)	10'	172' - 5"
REAR (EAST)	10'	22' - 2"

PROJECT FLOOR AREA **	ALLOWABLE:	PROPOSED:
FIRST FLOOR	NA	11,491 SF
SECOND FLOOR	NA	2,411 SF
TOTAL PROJECT FLOOR AREA	NA	13,902 SF

** REFER TO AREA PLANS, SHEET G2.0

ZONING INFORMATION (PQP)** CONTINUED:

	ALLOWABLE:	PROPOSED:
LOT SIZE (AREA):	MIN 6,000 SF	81,022 SF (1.86 ACRES)
MAXIMUM BUILDING HEIGHT**	65'	TEMPLE ROOF: 43'-4 1/2" TO SPIRE: 64'-10" COMMUNITY BUILDING ROOF: 35'-0"
NOISE STANDARD	<54 DBA	51 DBA

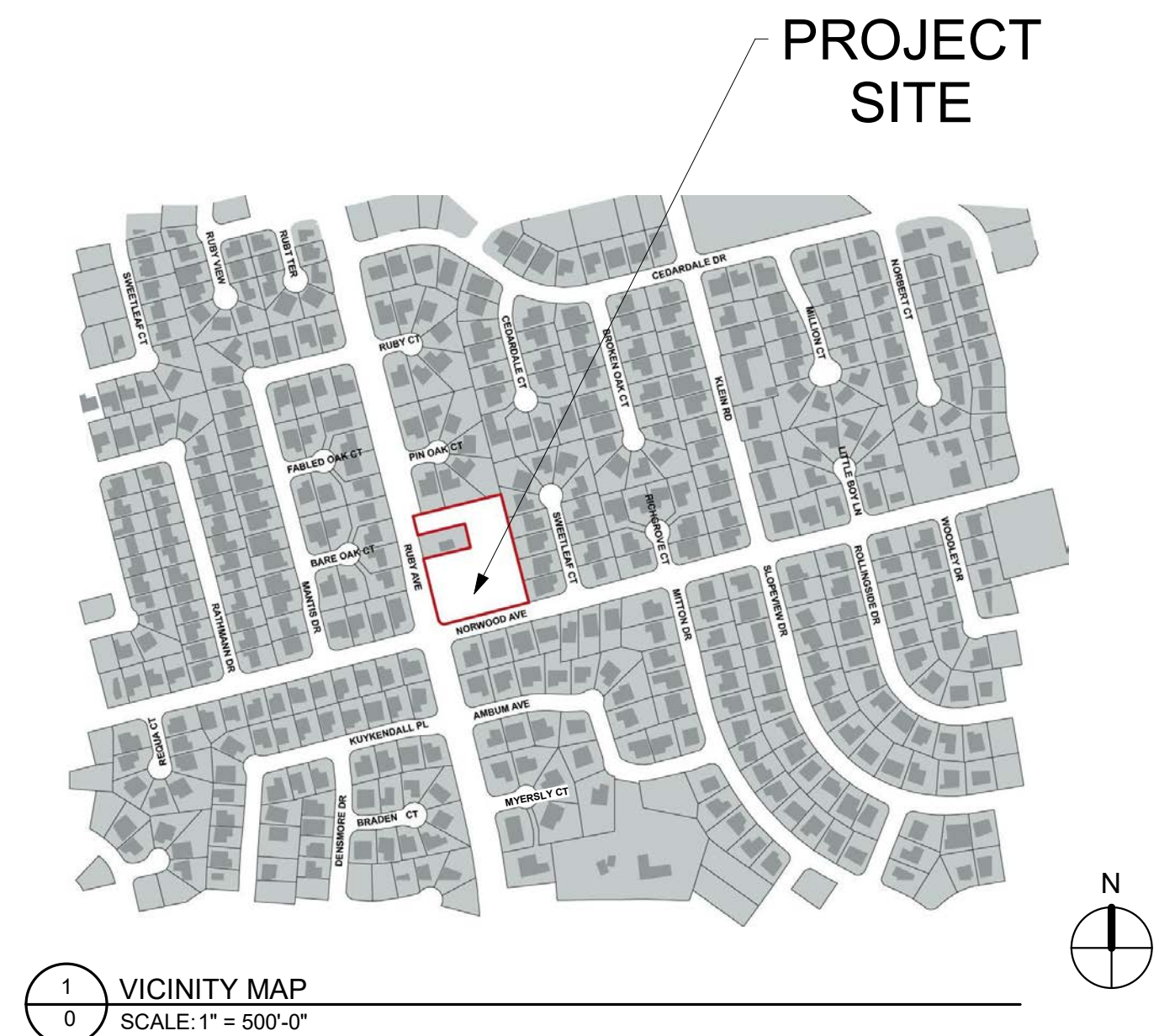
	REQUIRED:	PROPOSED:
PARKING (CAR)	66	68
EV CHARGING STATIONS	7	7
ACCESSIBLE PARKING	4	4
PARKING (BICYCLE)	5	10

BUILDING INFORMATION: REFER G5.0 & G5.1 FOR DETAILED BUILDING CODE COMPLIANCE DIAGRAMS AND INFORMATION

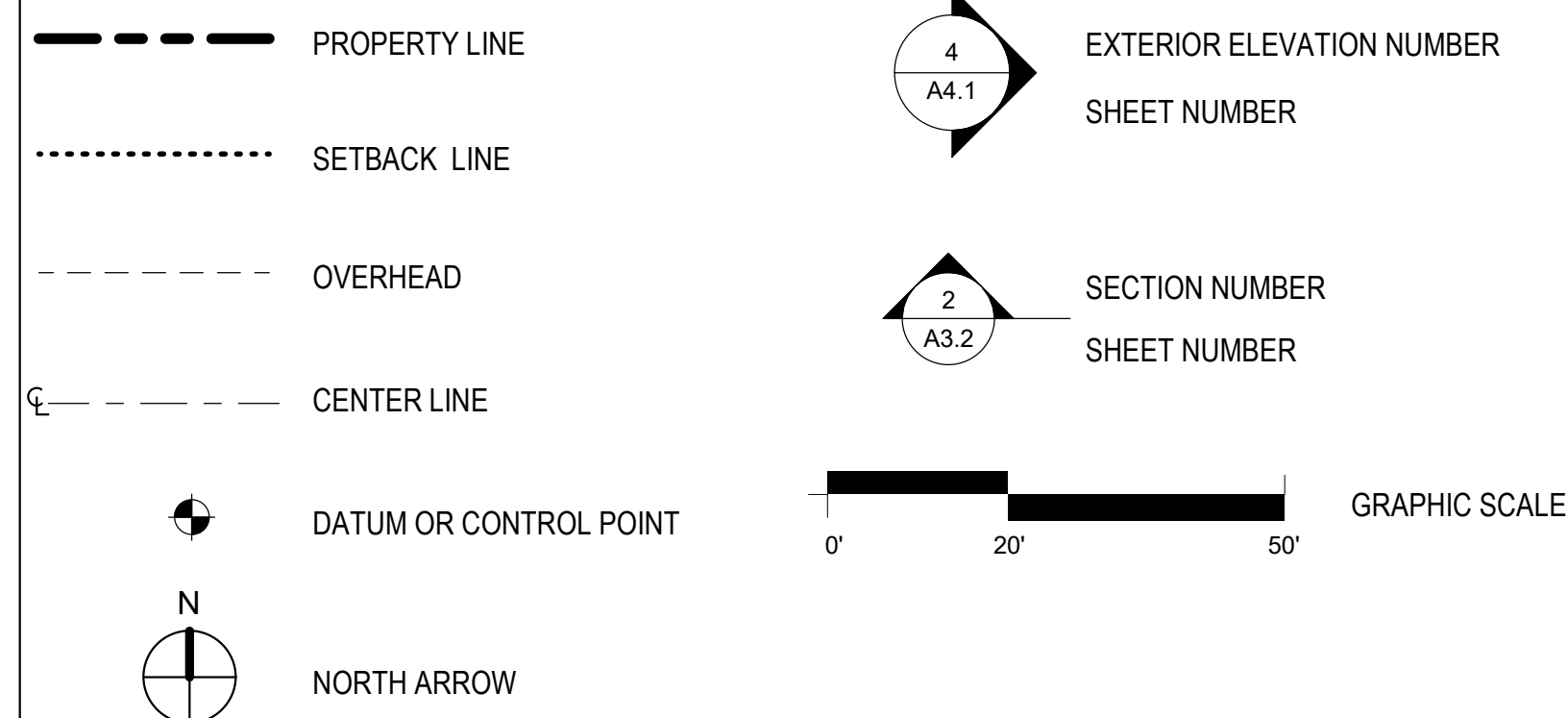
	2ND FLOOR	1ST FLOOR	BASEMENT	
	COMMUNITY BUILDING	COMMUNITY BUILDING	TEMPLE	COMMUNITY BUILDING
OCCUPANCY CLASS:	R-3	A-3	A-3	S-2
CONSTRUCTION TYPE:	VB			
FIRE SPRINKLER DESIGNATION	S			



VICINITY MAP



SYMBOLS LEGEND



PROJECT DIRECTORY

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CONTACT: Keith Short, Director of Design
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2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA GREEN BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE

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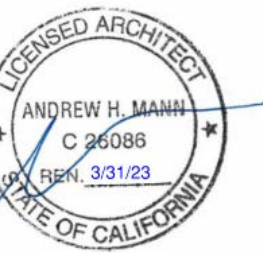
LIGHTING DESIGNER:
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NOT FOR CONSTRUCTION



WAT KHMER KAMPUCHEA KROM
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SAN JOSE, CALIFORNIA 95148
APN: 652-29-014
PROJECT FILE NO. SP20-024

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SHEET TITLE:
PROJECT DATA

ORIGINAL SHEET ISSUE DATE:
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0

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S1.1	ARCHITECTURAL SITE PLAN (SUP)	AMA	03/26/21
S2.0	LANDSCAPE SITE PLAN	STRATA	03/26/21
S3.0	CIVIL SITE PLAN	L&B	03/26/21
S3.1	CIVIL SITE PLAN	L&B	03/26/21
S3.2	CIVIL SITE PLAN	L&B	03/26/21
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G1.0	AERIAL PHOTO - EXISTING PLAN	AMA	01/07/20
G1.1	AERIAL PHOTO - PROPOSED PLAN	AMA	01/07/20
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G3.0	PARKING COUNT DIAGRAM	AMA	03/26/21
G4.0	BUILDING HEIGHT DIAGRAMS	AMA	01/07/20
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G7.0	COMPATIBILITY EXHIBITS	AMA	03/26/21
G7.1	COMPATIBILITY EXHIBITS	AMA	03/26/21
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A2.3	SITE SECTIONS	AMA	01/07/20
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C-2.4	GRADING AND DRAINAGE PLAN	L&B	12/01/21
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C-2.6	SITE SECTIONS	L&B	12/01/21
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SCP-5	STORMWATER CONTROL DETAILS	L&B	12/01/21
SCP-6	STORMWATER CONTROL DETAILS	L&B	12/01/21
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L0.3	TREE SURVEY DATA PLAN	STRATA	12/01/21
L1.0	LAYOUT PLAN	STRATA	12/01/21
L2.0	GRADING PLAN	STRATA	12/01/21
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L6.0	PAVING DETAILS	STRATA	12/01/21
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TR0.1	TRASH ENCLOSURE PLAN	ATM	10/19/21
TR0.2	SIDE LOADER COLLECTION VEHICLE MANEUVER	ATM	10/19/21
3			
SHEET COUNT: 87			

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REV 3 SUP		02/09/22

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1
G1.0 AERIAL PHOTO - EXISTING
SCALE: 1"=50'

PHOTO DATE: 9/4/2020



REV	ISSUED FOR	DATE
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SHEET TITLE:
AERIAL PHOTO - EXISTING PLAN

ORIGINAL SHEET ISSUE DATE:
 01/07/20

SCALE: 1"=50'	DRAWN BY: AMA
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SHEET NUMBER:

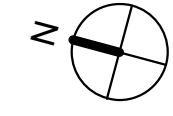
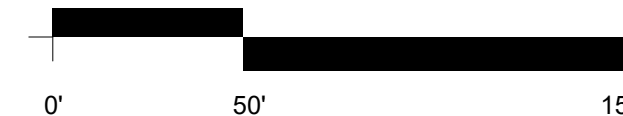
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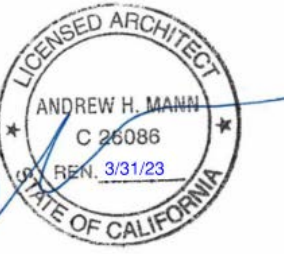
1 AERIAL PHOTO - PROPOSED
G1.1 SCALE: 1"=50'

PHOTO DATE: 5/9/2018



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SHEET TITLE:
**AERIAL PHOTO -
PROPOSED PLAN**

ORIGINAL SHEET ISSUE DATE:
01/07/20

SCALE: 1"=50' DRAWN BY:
AMA

SHEET NUMBER:

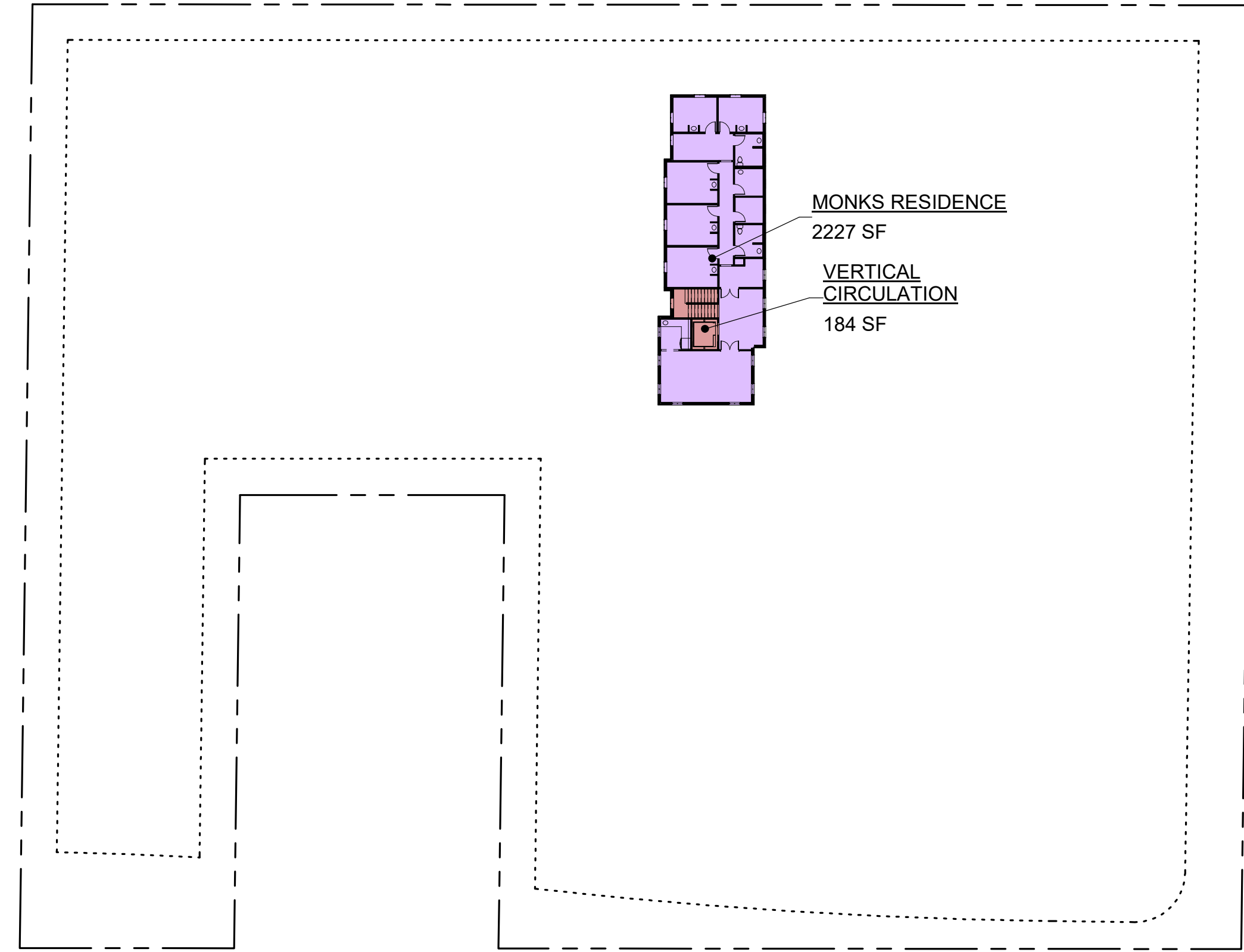
G1.1

SECOND FLOOR AREA (RESIDENTIAL) - BUILDING				COMMUNITY
Area Type	Gross Floor Area	Net Area (85% Gross)		Actual Net Area
RESIDENTIAL	2227 SF	1893 SF		SEE A1.2
Total	2227 SF	1893 SF		

SECOND FLOOR AREA (NON-RESIDENTIAL) - COMMUNITY BUILDING				
Area Type	Gross Floor Area	Net Area (85% Gross)		Actual Net Area
CIRCULATION	184 SF	156 SF		SEE A1.2
Total	184 SF	156 SF		

Floor Area Legend

- CIRCULATION
- RESIDENTIAL



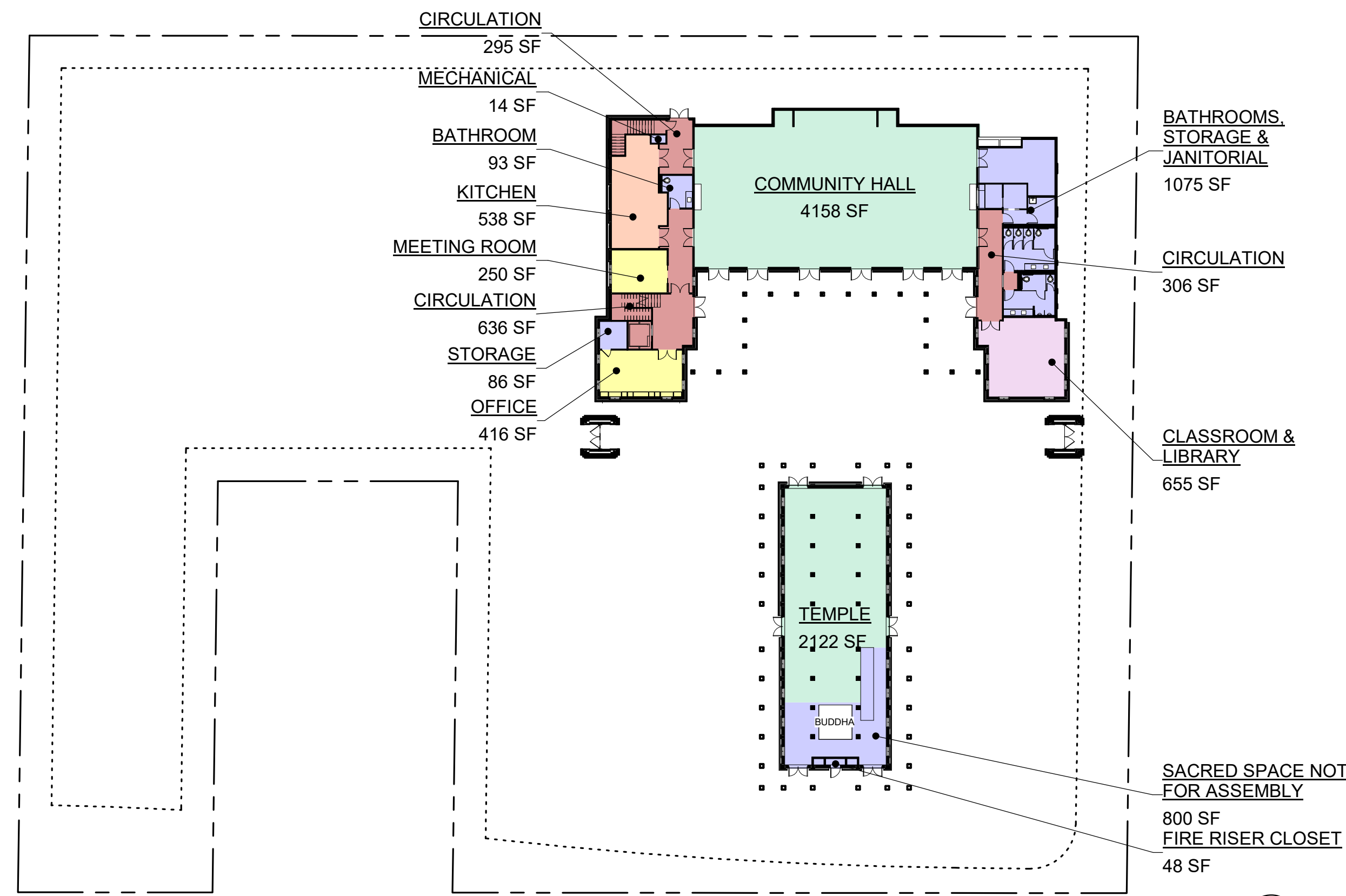
2
G2.0 SECOND FLOOR AREA PLAN
SCALE: 1/32" = 1'-0"

FIRST FLOOR AREA (NON-RESIDENTIAL) - COMMUNITY BUILDING				
Area Type	Gross Floor Area	Net Area (85% Gross)		Actual Net Area
ASSEMBLY	4158 SF	3534 SF		SEE A1.1
CIRCULATION	1236 SF	1051 SF		SEE A1.1
CLASSROOM	655 SF	557 SF		SEE A1.1
KITCHEN	538 SF	457 SF		SEE A1.1
OFFICES	667 SF	567 SF		SEE A1.1
SERVICES	1268 SF	1078 SF		SEE A1.1
Total	8522 SF	7244 SF		

FIRST FLOOR AREA (NON-RESIDENTIAL) - TEMPLE				
Area Type	Gross Floor Area	Net Area (85% Gross)		Actual Net Area
ASSEMBLY	2122 SF	1803 SF		SEE A1.1
SERVICES	848 SF	720 SF		SEE A1.1
Total	2969 SF	2524 SF		

Floor Area Legend

- ASSEMBLY
- CIRCULATION
- CLASSROOM
- KITCHEN
- OFFICES
- SERVICES



1
G2.0 MAIN FLOOR AREA PLAN
SCALE: 1/32" = 1'-0"

TOTAL FLOOR AREA:

NOTE: TOTAL FLOOR AREA CALCULATIONS DO NOT INCLUDE UNOCCUPIED BASEMENT AREAS AND EXTERIOR COVERED AREAS. GROSS FLOOR AREA CALCULATIONS MEASURED FROM OUTSIDE FACE OF EXTERIOR WALLS.

TOTAL FIRST FLOOR AREA			
AREA TYPE	Gross Floor Area	Net Area (85% Gross)	Actual Net Area
NON-RESIDENTIAL - COMMUNITY BUILDING	8522 SF	7244 SF	N/A
NON-RESIDENTIAL - TEMPLE	2969 SF	2524 SF	N/A
RESIDENTIAL	0 SF	0 SF	N/A
Total	11491 SF	9768 SF	N/A

TOTAL SECOND FLOOR AREA			
AREA TYPE	Gross Floor Area	Net Area (85% Gross)	Actual Net Area
RESIDENTIAL - COMMUNITY BUILDING	2227 SF	1893 SF	N/A
NON-RESIDENTIAL - COMMUNITY BUILDING	184 SF	156 SF	N/A
Total	2411 SF	2049 SF	N/A

TOTAL PROJECT FLOOR AREA (INCLUDES BOTH RESIDENTIAL & NON-RESIDENTIAL)			
AREA TYPE	Gross Floor Area	Net Area (85% Gross)	Actual Net Area
FIRST FLOOR	11491 SF	9768 SF	N/A
SECOND FLOOR	2411 SF	2049 SF	N/A
Total	13902 SF	11817 SF	N/A

REV	ISSUED FOR	DATE
CUP		01/07/20
REV 1 SUP		03/26/21
REV 2 SUP		10/19/21
REV 3 SUP		02/09/22

NOT FOR CONSTRUCTION



WAT KHMER KAMPUCHEA KROM
 2740 RUBY AVENUE
 SAN JOSE, CALIFORNIA 95148
 APN: 652-29-014
 PROJECT FILE NO. SP20-024

ANDREW MANN ARCHITECTURE
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SHEET TITLE:
AREA PLANS

ORIGINAL SHEET ISSUE DATE:
01/07/20

SCALE:
As indicated

DRAWN BY:
AMA

SHEET NUMBER:
G2.0

DATE PRINTED: 03/26/21 10:19:21 AM

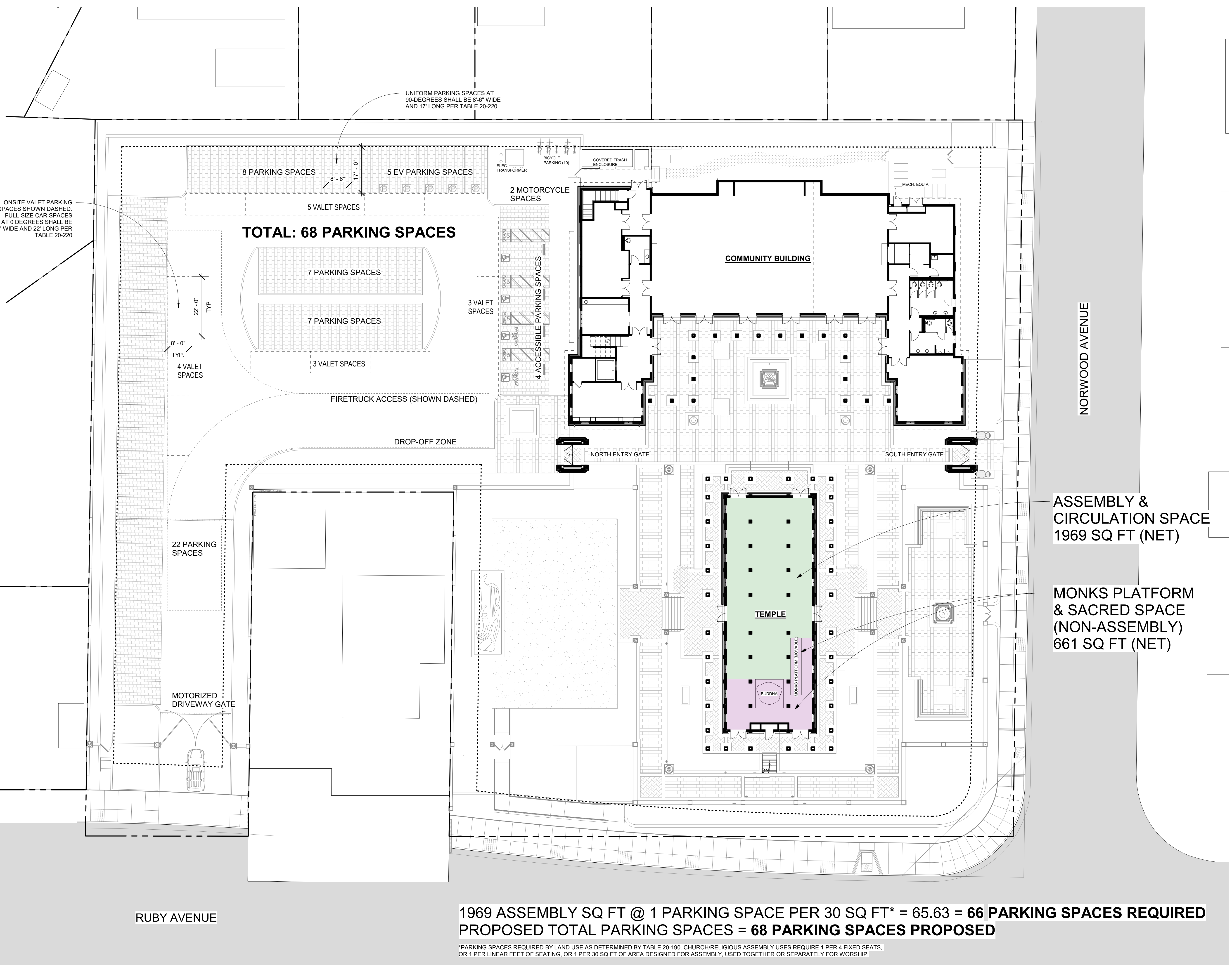
PARKING COUNT

QTY: TYPE:

44	STANDARD PARKING 90-DEGREE UNIFORM
1	ACCESSIBLE PARKING
1	VAN ACCESSIBLE PARKING
1	ACCESSIBLE EV CHARGING
1	VAN ACCESSIBLE EV CHARGING
5	EV CHARGING
15	ON-SITE VALET PARKING
2	MOTORCYCLE PARKING

TOTAL EV STATION: 7
TOTAL PARKING*: 68
*TOTAL PARKING NUMBER DOES NOT INCLUDE 2 MOTORCYCLE SPACES
NOTE: SEE S1.1 FOR PARKING SPACE AND LOT DIMENSIONS

ONSITE VALET PARKING SPACES SHOWN DASHED. FULL-SIZE CAR SPACES AT 0 DEGREES SHALL BE 8' WIDE AND 22' LONG PER TABLE 20-220



TOTAL: 68 PARKING SPACES

UNIFORM PARKING SPACES AT 90-DEGREES SHALL BE 8'-6" WIDE AND 17' LONG PER TABLE 20-220

ASSEMBLY & CIRCULATION SPACE
1969 SQ FT (NET)

MONKS PLATFORM & SACRED SPACE
(NON-ASSEMBLY)
661 SQ FT (NET)

1969 ASSEMBLY SQ FT @ 1 PARKING SPACE PER 30 SQ FT* = 65.63 = 66 PARKING SPACES REQUIRED
PROPOSED TOTAL PARKING SPACES = 68 PARKING SPACES PROPOSED

*PARKING SPACES REQUIRED BY LAND USE AS DETERMINED BY TABLE 20-190. CHURCH/RELIGIOUS ASSEMBLY USES REQUIRE 1 PER 4 FIXED SEATS, OR 1 PER LINEAR FEET OF SEATING, OR 1 PER 30 SQ FT OF AREA DESIGNED FOR ASSEMBLY, USED TOGETHER OR SEPARATELY FOR WORSHIP.

REV	ISSUED FOR	DATE
REV 1 SUP		03/26/21
REV 2 SUP		10/19/21
REV 3 SUP		02/09/22

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SHEET TITLE:
PARKING COUNT DIAGRAM

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SCALE: As indicated
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SHEET NUMBER:

G3.0

DATE PRINTED: 03/26/21 12:44 PM

ILLUSTRATIVE PLANNING DIAGRAM - FOR REFERENCE ONLY

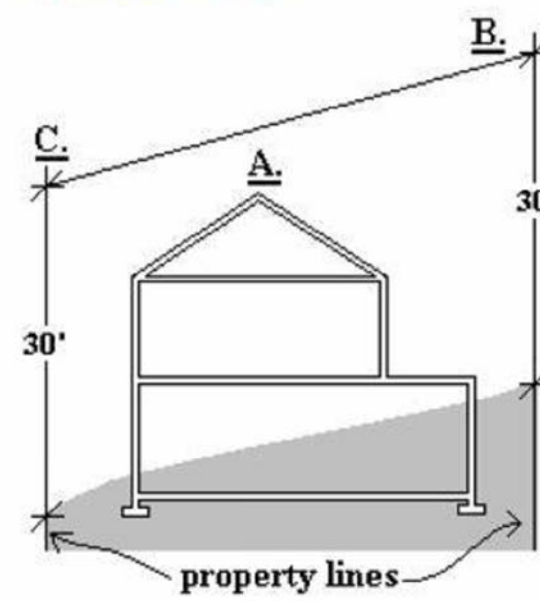
HOW TO CALCULATE HEIGHT*

*As defined for Planning purposes (may differ from Building Code definition)

The "height" of a structure at any point is the vertical distance between its top surface and the "grade" immediately below it. For purposes of this Section, "grade" shall be determined as follows:

1. For any point on the top surface of a structure, "grade" is the intersection of the vertical line, through said point, with a straight line, which passes through:

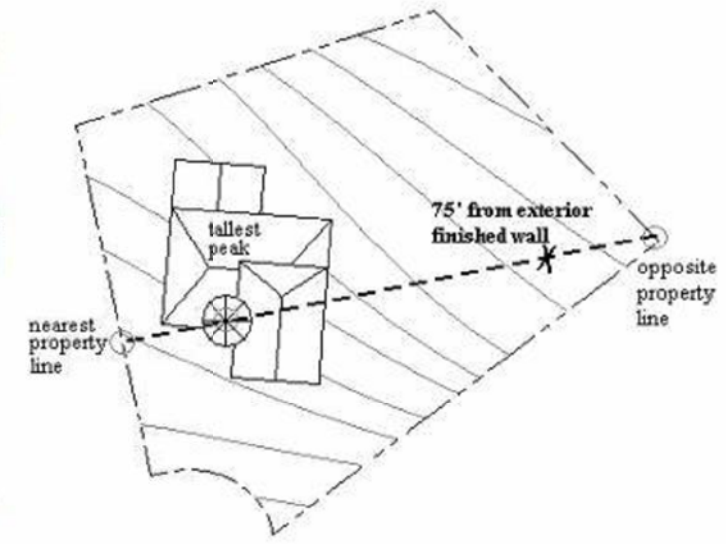
- A. The vertical line, and
- B. The nearest point of the property line nearest to the vertical line, and



point on a second property line opposite to the first property line.

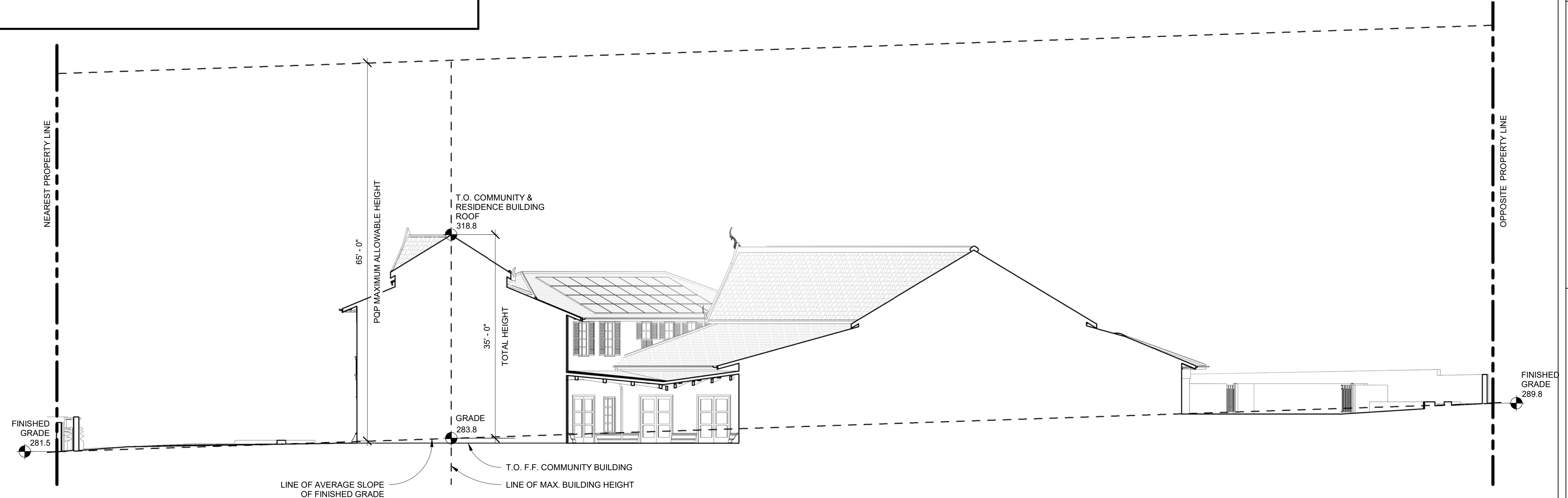
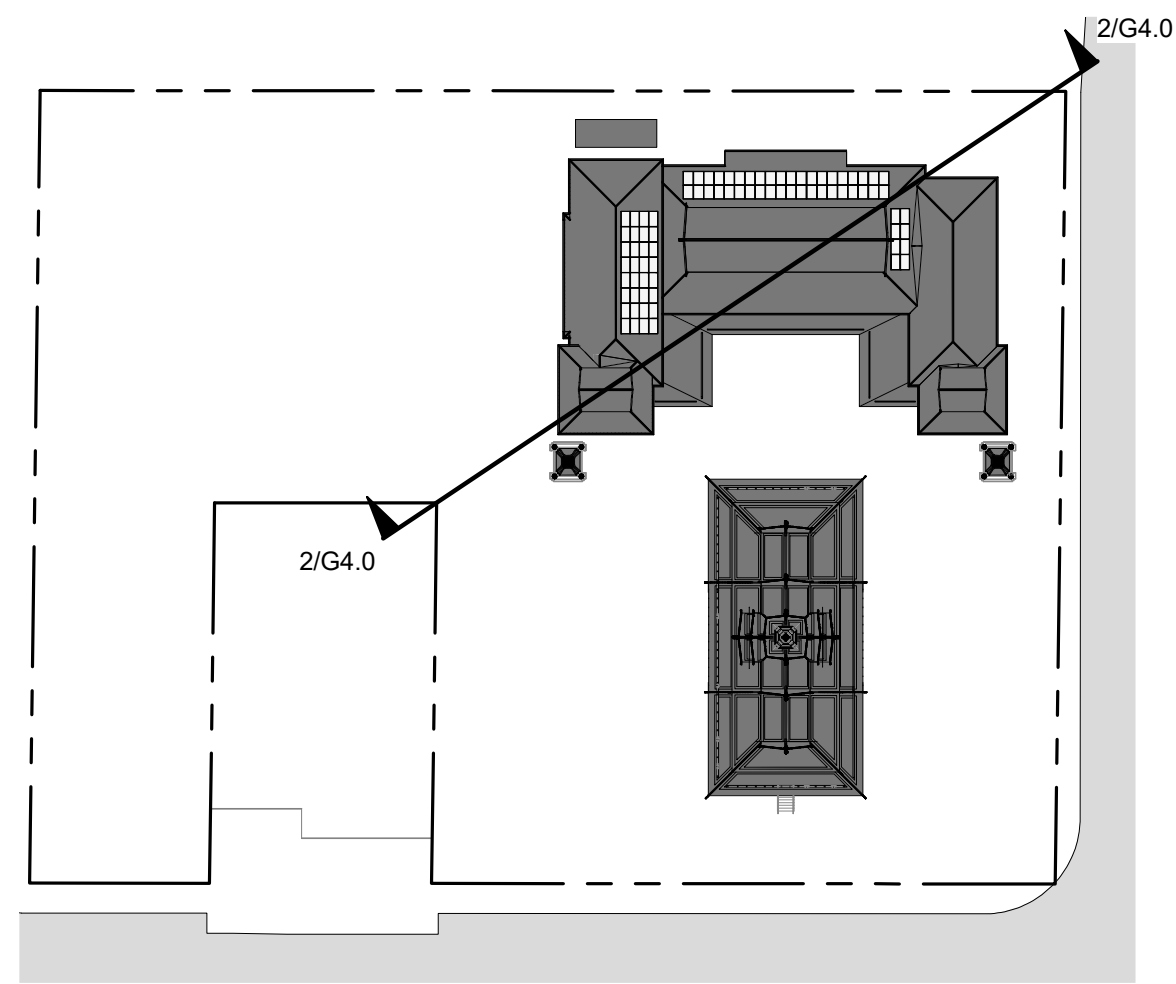
Said property lines shall be property lines of the same lot on which the structure being measured is constructed or installed and said property lines shall be assumed to lie on the surface of the finished ground elevation.

2. When the point described in Subsection 1.b or in Subsection 1.c of this Section is more than seventy-five (75) feet from the nearest surface of the structure, such point shall be moved along the same bearing, as was established pursuant to Subsection 1 of this section, to a point at finished ground elevation and seventy-five (75) feet from said exterior surface



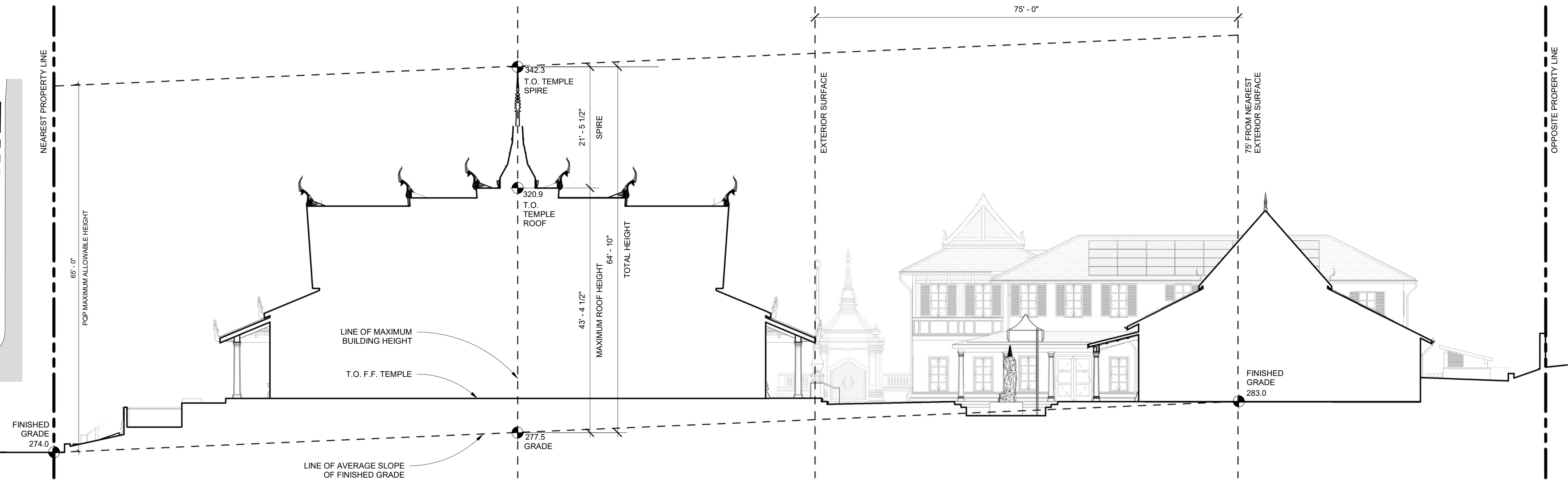
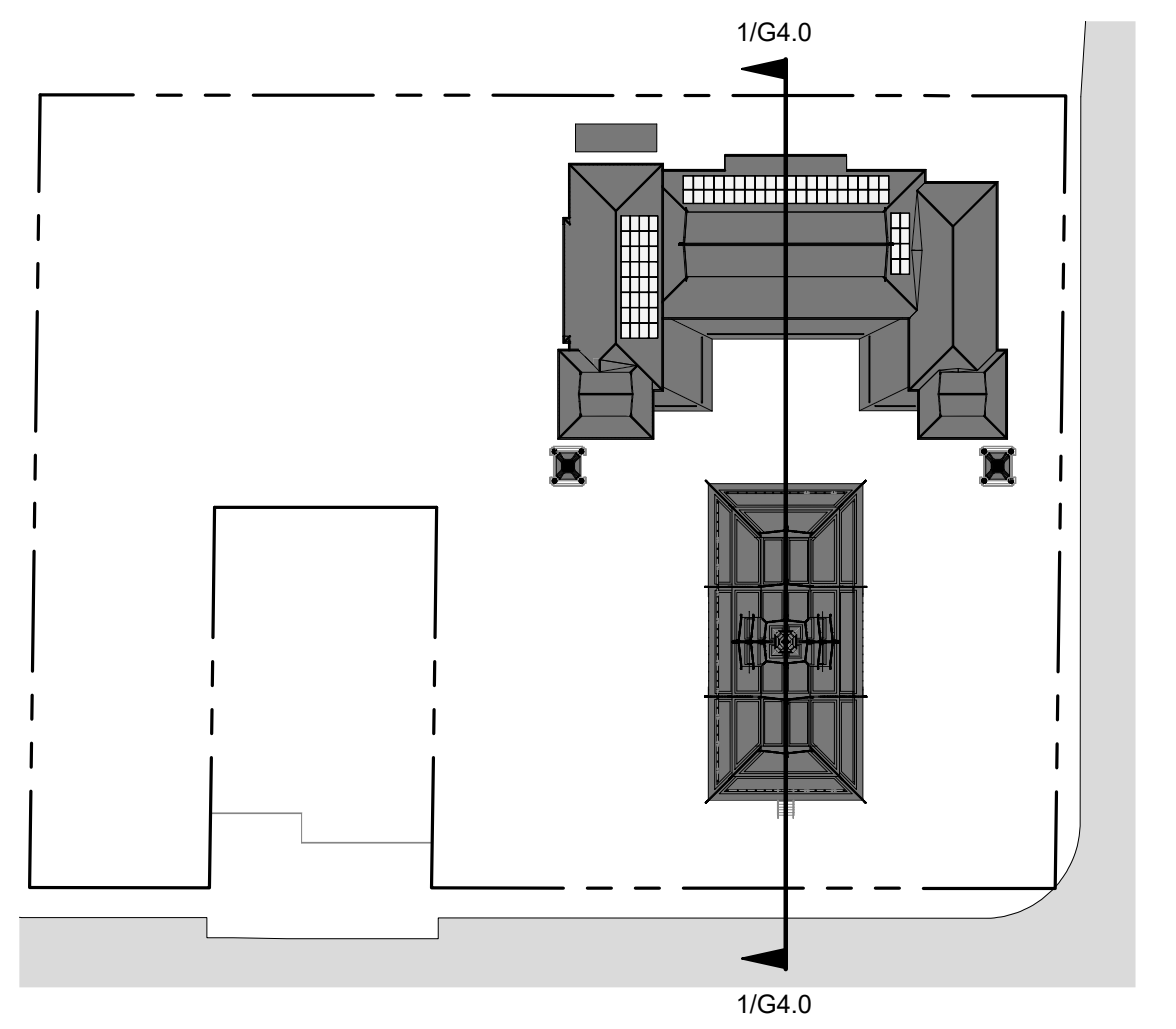
3. When there is an on or off-site retaining wall located within six (6) inches of the property line at the point established by Subsection 1.b or by Subsection 1.c, said point shall be moved along the same bearing, as was established pursuant to Subsection 1, to a point at finished ground elevation and twelve (12) inches.

AB 5-23-11



2 BUILDING HEIGHT DIAGRAM - COMMUNITY BUILDING

SCALE: 3/32" = 1'-0"



1 BUILDING HEIGHT DIAGRAM - TEMPLE

SCALE: 3/32" = 1'-0"

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SHEET TITLE:
BUILDING HEIGHT DIAGRAMS

ORIGINAL SHEET ISSUE DATE:
 01/07/20

SCALE: As indicated
 DRAWN BY: AMA

SHEET NUMBER:

G4.0



TOTAL GROSS BUILDING AREA (INCLUDING 4FT+ OVERHANGS):

TEMPLE BUILDING: 7,139 SF
 COMMUNITY BUILDING: 13,844 SF

TOTAL: 20,983 SF

CITY OF SAN JOSE MUNICIPAL CODES AND ALL OTHER APPLICABLE STATE AND LOCAL ORDINANCES AND REGULATIONS

THE FOLLOWING IS A SUMMARY OF THE PRIMARY BUILDING CODE ISSUES RELATED TO THE PROJECT. CODE REFERENCES, WHERE PROVIDED, ARE PARAPHRASED AND ARE NOT INTENDED TO BE COMPLETE.

AREA AND HEIGHT LIMITATIONS

BUILDING ON THE SAME LOT CONSIDERED SEPARATE BUILDINGS CBC 503.1.2

TEMPLE BUILDING:

PRIMARY OCCUPANCY
 GROUP A-3 - ASSEMBLY, 1ST FLOOR CBC 303.4
 GROUP S-2 - STORAGE, BASEMENT CBC 311.3

CONSTRUCTION TYPE TYPE VB CBC 602.5

RISK CATEGORY III CBC 1604.5

BUILDING AREA ALLOWABLE PRIMARY OCCUPANCY 18,000 SF CBC TABLE 506.2, SM
 ACTUAL PRIMARY OCCUPANCY MECHANICAL BASEMENT 1,062 SF
 1ST FLOOR 5,430 SF INCLUDING OVERHANGS 4FT+

BUILDING HEIGHT AND STORIES ALLOWABLE HEIGHT 60' S, W/O AREA INCREASE, CBC TABLE 504.3
 ACTUAL HEIGHT TEMPLE 37'-3" + 10'-11" COMBUSTIBLE SPIRE* CALC. AT EXTERIOR WALL PER CBC 202, GRADE PLANE

ALLOWABLE NUMBER OF STORIES 2 STORIES S, W/O AREA INCREASE, CBC TABLE 504.4
 ACTUAL NUMBER OF STORIES 1 STORY

*SPIRE EXCEPTION TO BUILDING HEIGHT PER CBC 504.3 WHEN OF NON-COMBUSTIBLE CONSTRUCTION. 20' LIMIT IF COMBUSTIBLE CONSTRUCTION. IF LESS THAN 20', COMBUSTIBLE CONSTRUCTION ALLOWED PER CBC 1510.5

OCCUPANCY SEPARATION BASEMENT, S-2 STORAGE 0 HR SEPARATED OCCUPANCIES BETWEEN S-2 BASEMENT AND A-3 1ST FLOOR PER CBC 508.4

COMMUNITY BUILDING:

PRIMARY OCCUPANCY GROUP A-3, ASSEMBLY CBC 303.4
 GROUP R-3, RESIDENTIAL CBC 310.5
 GROUP S-2, STORAGE CBC 311.3

CONSTRUCTION TYPE TYPE VB CBC 602.5

RISK CATEGORY III CBC 1604.5

BUILDING AREA ALLOWABLE PRIMARY OCCUPANCY 18,000 SF CBC TABLE 506.2, SM
 ACTUAL PRIMARY OCCUPANCY MECHANICAL BASEMENT 1,151 SF
 1ST FLOOR 10,271 SF
 2ND FLOOR 2,411 SF INCLUDING OVERHANGS 4FT+

BUILDING HEIGHT AND STORIES ALLOWABLE HEIGHT 60' S, W/O AREA INCREASE, CBC TABLE 504.3
 ACTUAL HEIGHT COMMUNITY BUILDING 34'-1 1/2" CALC. AT EXTERIOR WALL PER CBC 202, GRADE PLANE

ALLOWABLE NUMBER OF STORIES 2 STORIES S, W/O AREA INCREASE, CBC TABLE 504.4
 ACTUAL NUMBER OF STORIES 2 STORIES

OCCUPANCY SEPARATION BASEMENT, S-2 STORAGE 0 HR SEPARATED OCCUPANCIES BETWEEN S-2 BASEMENT AND A-3 1ST FLOOR PER CBC 508.4

1ST FLOOR NONSEPARATED OCCUPANCIES ALLOWABLE BUILDING AREA, HEIGHT AND STORIES FOLLOW MOST RESTRICTIVE A-3 OCCUPANCY. NO SEPARATION REQUIRED BETWEEN NON SEPARATED OCCUPANCIES PER CBC 508.3

2ND FLOOR, R-3 RESIDENTIAL 1 HR SEPARATED OCCUPANCIES BETWEEN A-3 1ST AND R-3 2ND FLOOR PER CBC 711.2.4.3/ 508.4. BEARING WALLS SUPPORTING 2ND FLOOR PROTECTED WITH 1 HR RATING.

NUMBER OF EXITS NUMBER OF EXITS CALCULATED BY OCCUPANT LOAD PER TABLE 1004.5. SEE G5.1 R-3 RESIDENTIAL PERMITTED TO HAVE ONE EXIT PER CBC 1006.2.1 EX. 1 AND 1006.3.2 EX. 4. ALL WINDOWS IN RESIDENCE TO PROVIDE EMERGENCY EGRESS PER CBC 1030.

FIRE-RESISTANCE FOR BUILDING ELEMENTS

CBC TABLE 601
 PRIMARY STRUCTURAL FRAME: 0
 EXTERIOR BEARING WALLS: 0, 1 HR AT WALLS SUPPORTING R-3
 INTERIOR BEARING WALLS: 0, 1 HR AT WALLS SUPPORTING R-3
 EXTERIOR NON-BEARING WALLS: 0
 INT NON-BEARING PARTITIONS: 0
 FLOOR CONSTRUCTION: 0, 1 HR AT 2ND FLOOR ASSEMBLY
 ROOF CONSTRUCTION: 0
 STAIRWAY 1 HR WALLS AND CEILING AT HORIZONTAL EXIT, CBC 1023

FIRE-RESISTANCE FOR EXT. WALLS BASED ON FIRE SEPARATION DISTANCE CBC TABLE 602
 LESS THAN 10FT 1-HR RATING REQ. NO INSTANCE IN PROJECT
 GREATER THAN 10FT NO RATING REQUIRED, SEE ASSUMED PROPERTY LINE

OPENING PROTECTION BASED ON FIRE SEPARATION ONLY APPLIES TO BUILDINGS WHOSE EXTERIOR WALLS OR FRAME ARE REQUIRED TO BE FIRE RESISTIVE RATED CBC 705.8.1, EX. 2

FIRE SPRINKLER SYSTEM PROVIDED AT BOTH BUILDINGS AND 4FT+ OVERHANGS

STANDPIPE SYSTEM SITE HYDRANT PROVIDED, SEE CIVIL DRAWINGS

FIRE & SMOKE ALARM SYSTEMS PROVIDED

MINIMUM PLUMBING FIXTURES OCCUPANT LOAD CPC TABLE A, excludes mechanical rooms

OCCUPANCY	AREA	FACTOR	OCCUPANTS
GROUP A-3	8,714	1/30 SF	291 OCC., 146 M, 146 F
GROUP R-3	1,270	1/200 SF	7 OCC., 7 M, NO FEMALE
TOTAL			387 OCCUPANTS

MINIMUM PLUMBING FIXTURES REQUIRED:		CPC TABLE 422.1				DRINKING FOUNTAINS SERVICE SINK	
WATER CLOSETS	URINALS	LAVATORIES	MALE	FEMALE	DRINKING FOUNTAINS	SERVICE SINK	
MALE	FEMALE	MALE	FEMALE				
GROUP A-3	2	4	2	1	2	1	
GROUP R-3	1	0	1	1	0	1	1

PROVIDED PLUMBING FIXTURES		CPC TABLE 422.1				DRINKING FOUNTAINS SERVICE SINK	
WATER CLOSETS	URINALS	LAVATORIES	MALE	FEMALE	DRINKING FOUNTAINS	SERVICE SINK	
MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX		
GROUP A-3	2	4	1	2	2	2	1
GROUP R-3	0	0	2		2	1	1

Community Building Occupant Load

Number	Name	Net Area	Occupancy	Occupant Factor	Occupant Load
Basement					
001	MECH. /ELEC.	868 SF	Mechanical Equipment Room	300 SF	3
002	MACHINE ROOM	54 SF	Mechanical Equipment Room	300 SF	1
		922 SF			4
1st Floor					
100	COMMUNITY HALL	3948 SF	Assembly Concentrated	5 SF	790
102	CLASSROOM /LIBRARY	586 SF	Classroom Area	20 SF	30
105a	COAT ROOM	54 SF	Accessory Storage Area	300 SF	1
106	JANITORIAL	68 SF	Accessory Storage Area	300 SF	1
107	A/V	54 SF	Accessory Storage Area	300 SF	1
108	STORAGE	312 SF	Accessory Storage Area	300 SF	2
111	OFFICE	364 SF	Business Area	150 SF	3
112	CLO.	70 SF	Accessory Storage Area	300 SF	1
114	MEETING ROOM	224 SF	Business Area	150 SF	2
116	KITCHEN	493 SF	Kitchen	200 SF	3
		6174 SF			832
2nd Floor					
201	LIVING ROOM	364 SF	Residential	200 SF	2
201a	KITCHENETTE	70 SF	Residential	200 SF	1
205	CLOSET	56 SF	Residential	200 SF	1
206	LAUNDRY	60 SF	Residential	200 SF	1
209	BEDROOM 1	119 SF	Residential	200 SF	1
210	BEDROOM 2	116 SF	Residential	200 SF	1
211	BEDROOM 3	161 SF	Residential	200 SF	1
212	BEDROOM 4	159 SF	Residential	200 SF	1
213	BEDROOM 5	157 SF	Residential	200 SF	1
		1262 SF			11
Grand total		8358 SF			847

Temple Building Occupant Load

Number	Name	Area	Occupancy	Occupant Factor	Occupant Load
Basement					
T001	TEMPLE UTILITY BASEMENT	1329 SF	Mechanical Equipment Room	300 SF	5
		1329 SF			5
1st Floor					
T100	TEMPLE	2630 SF	Assembly Concentrated	5 SF	526
		2630 SF			526
Grand total		3959 SF			531

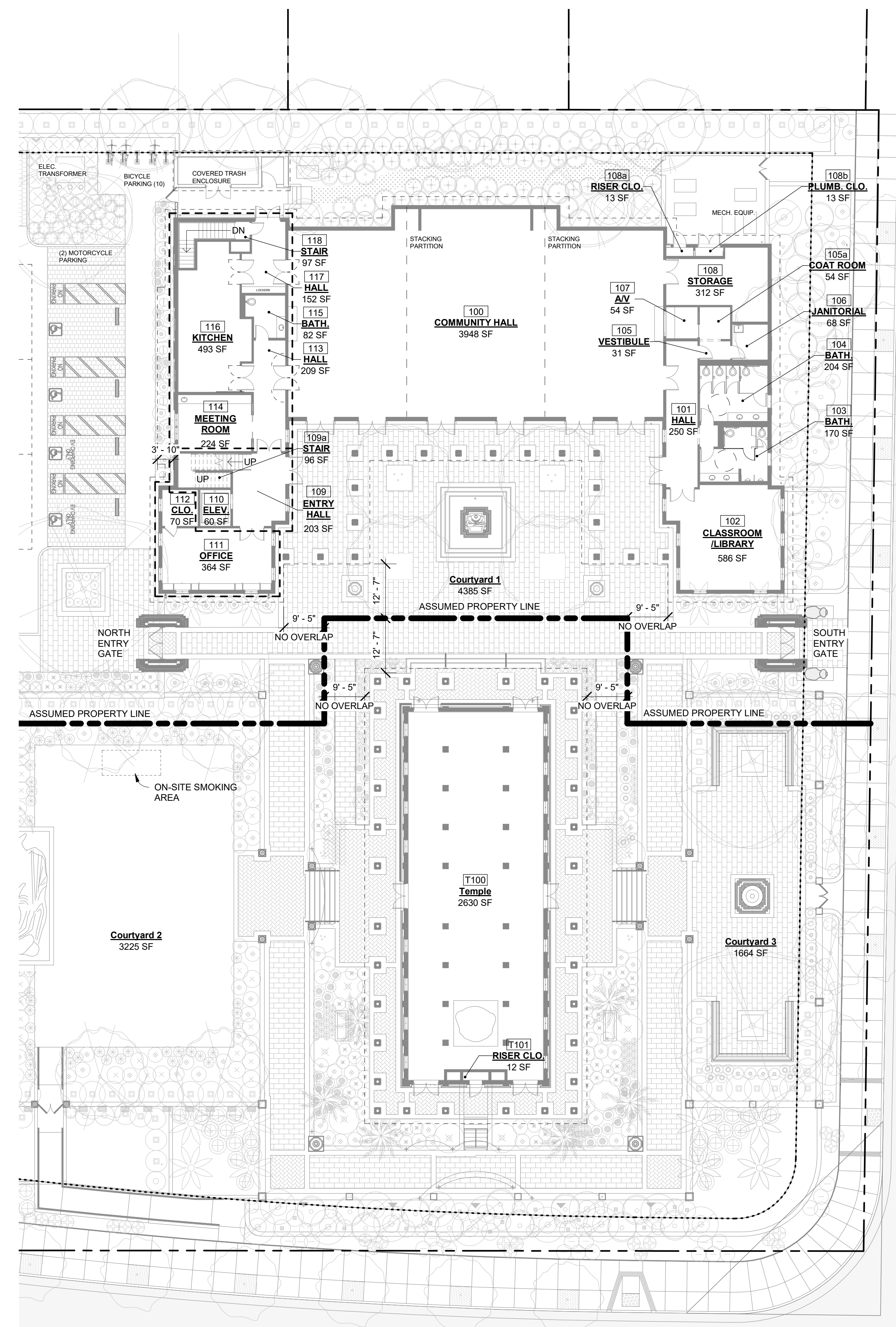
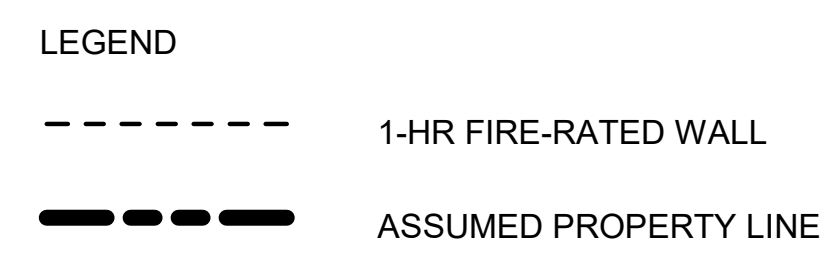
Courtyard Occupant Load

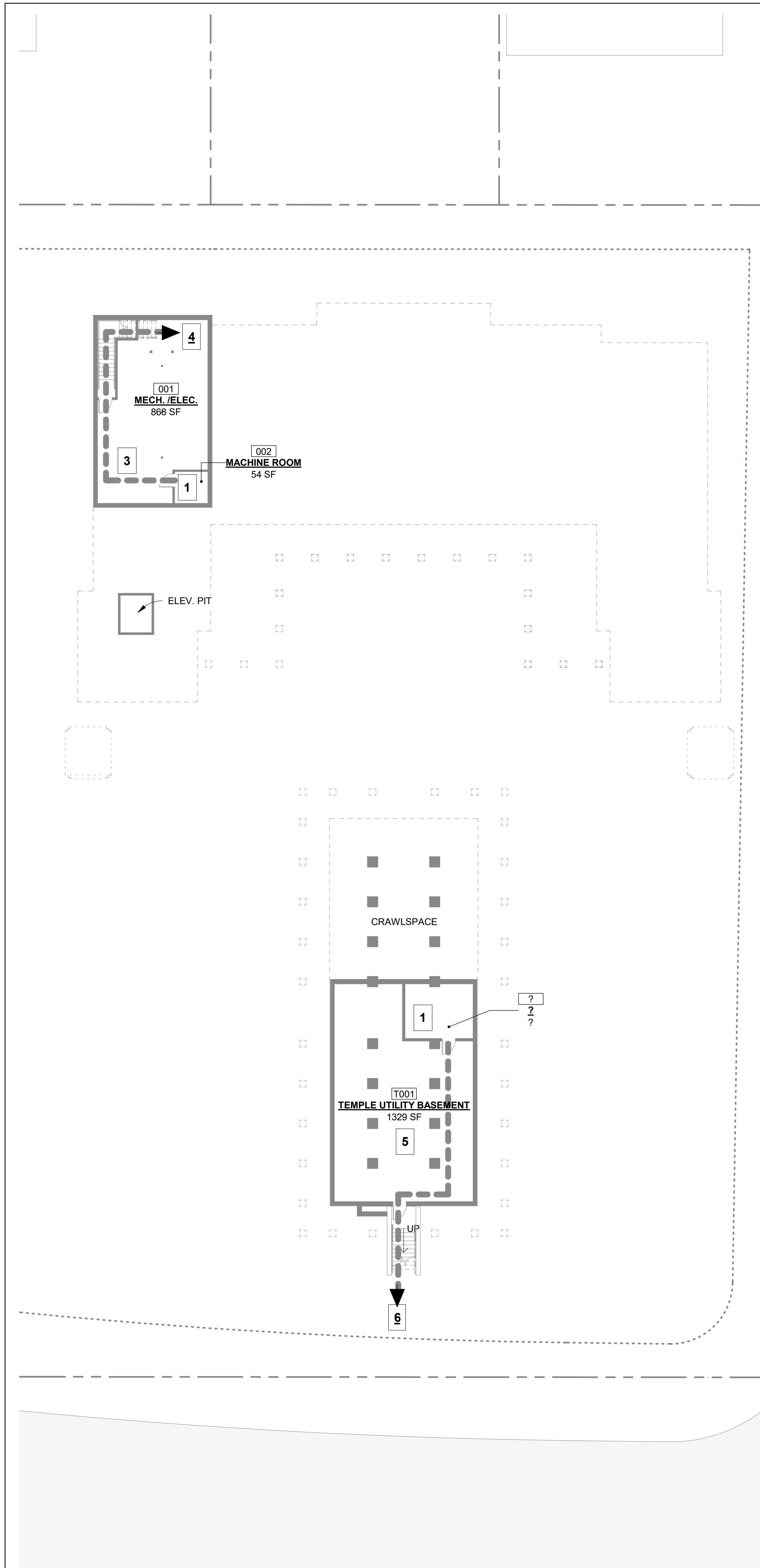
Number	Name	Area	Occupancy	Occupant Factor	Occupant Load
01	Courtyard 1	4385 SF	Assembly Concentrated	5 SF	878
02	Courtyard 2	3225 SF	Assembly Concentrated	5 SF	646
03	Courtyard 3	1664 SF	Assembly Concentrated	5 SF	333
					1856

NOTES:

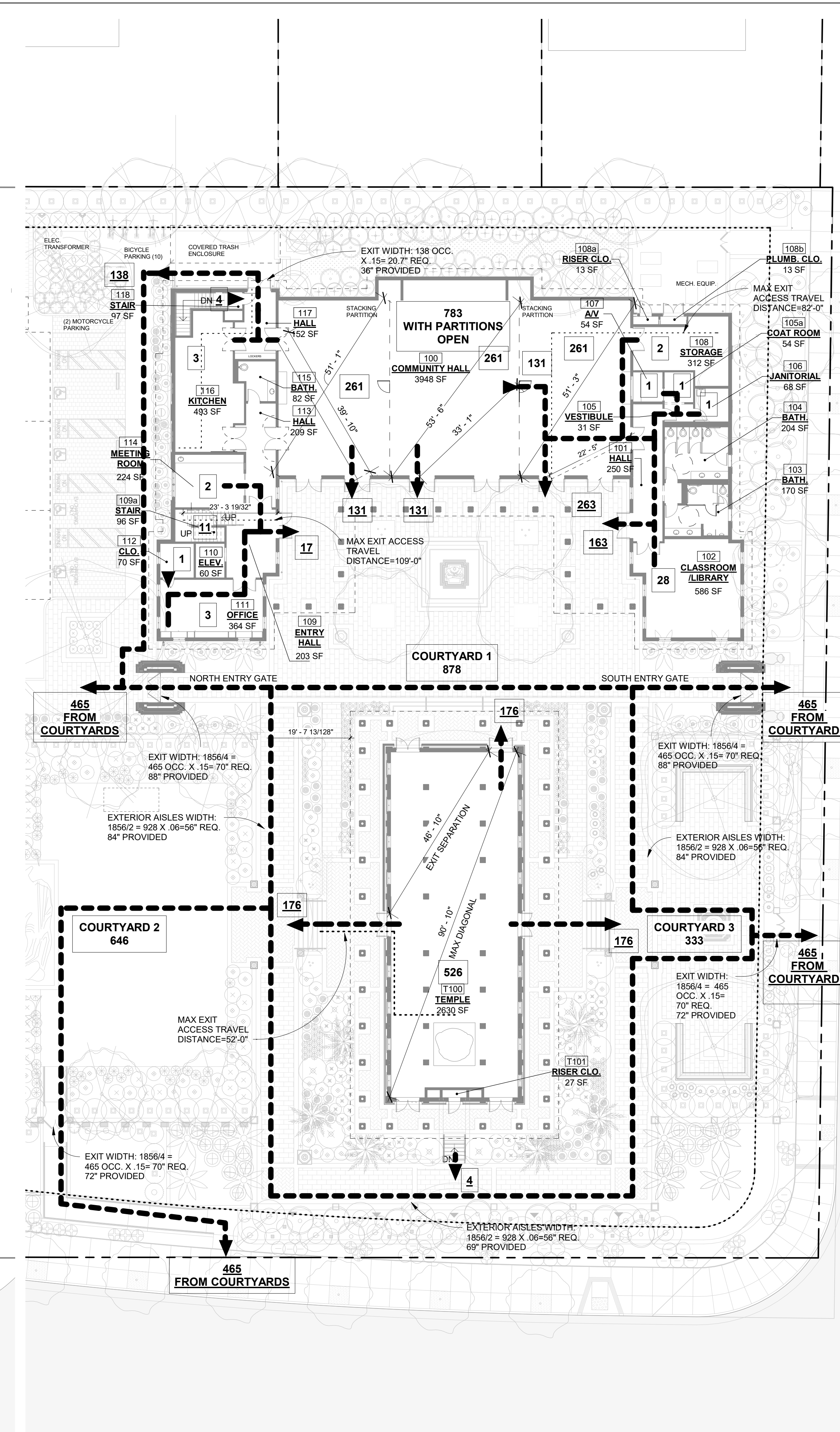
- OCCUPANT LOADS PROVIDED SOLELY FOR BUILDING DEPARTMENT EGRESS ANALYSIS PER CBC TABLE 1004.5 AND DO NOT ACCOUNT FOR MAXIMUM SITE OCCUPANCY (300) NOR REPRESENT ACTUAL EXPECTED BUILDING ATTENDANCE.

- SEE G5.1 FOR EGRESS ANALYSIS

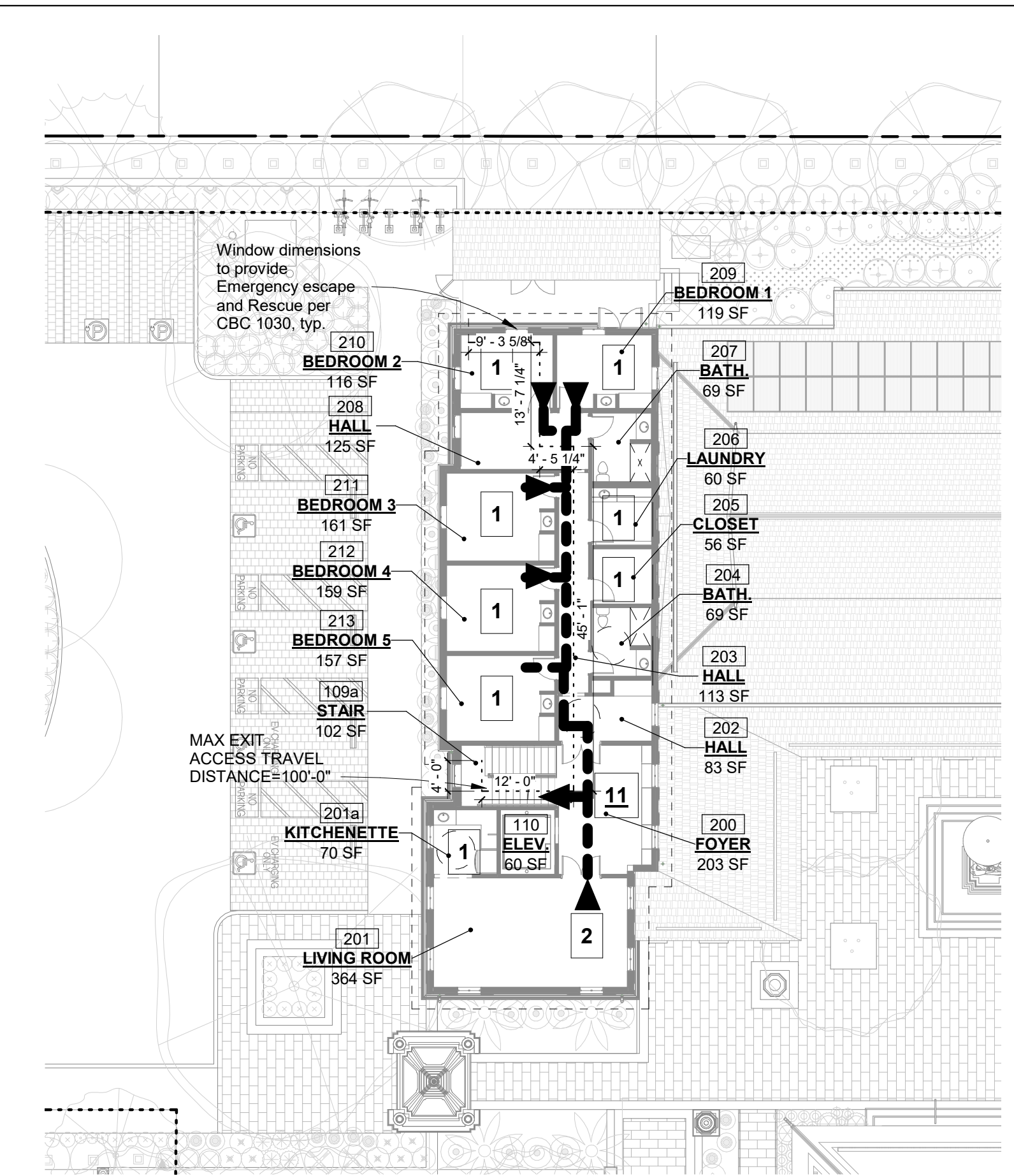




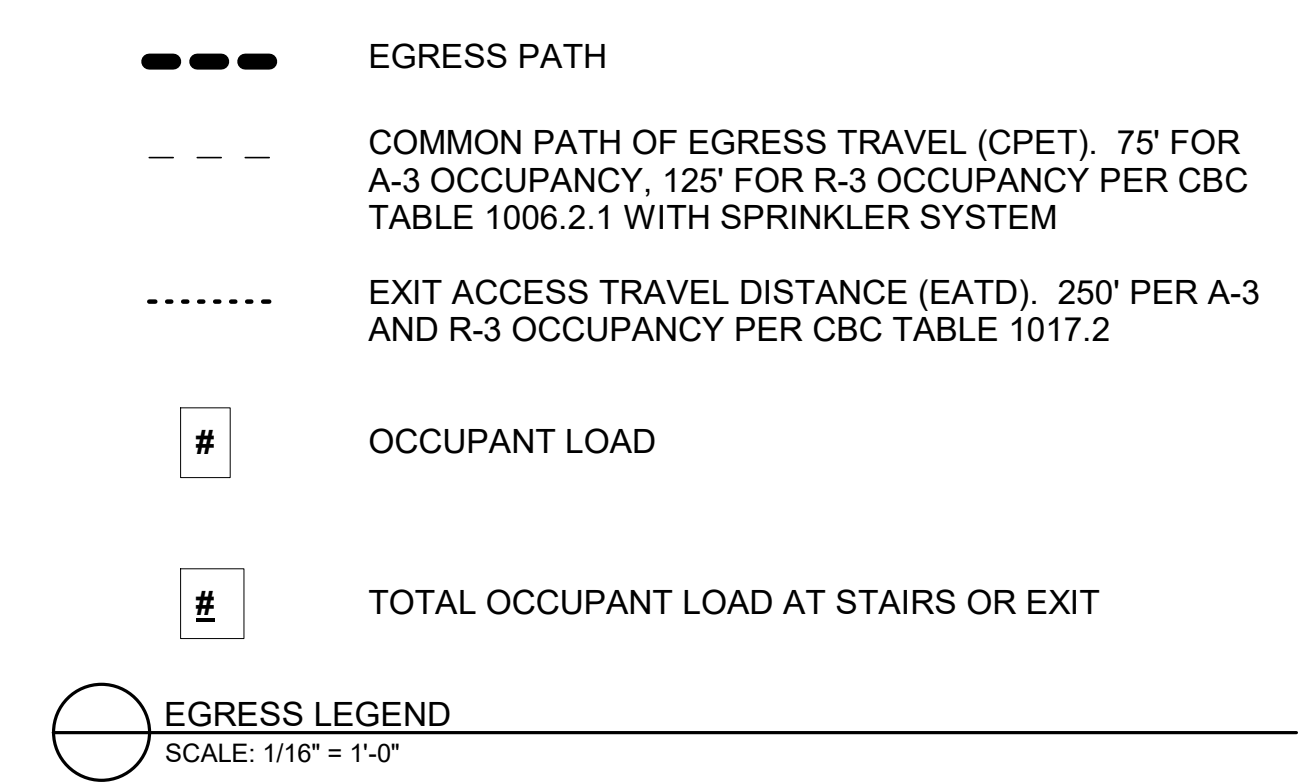
4
G5.1 BASEMENT FLOOR PLAN-EGRESS UPDATE
SCALE: 1/16" = 1'-0"



1
G5.1 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



2
G5.1 SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



NOTE: COURTYARD OCCUPANT LOADS AND EGRESS TO BE DETERMINED BY BUILDING OFFICIAL PER CBC 1004.7

BUILDING EGRESS IS SHOWN TO COURTYARDS AND ASSUMES A SEQUENTIAL EGRESS BY COURTYARD OCCUPANTS

OCCUPANT LOADS PROVIDED SOLELY FOR BUILDING DEPARTMENT EGRESS ANALYSIS PER CBC TABLE 1004.5 AND DO NOT ACCOUNT FOR MAXIMUM SITE OCCUPANCY (300) NOR REPRESENT ACTUAL EXPECTED BUILDING ATTENDANCE.

REV	ISSUED FOR	DATE
REV 1 SUP		03/26/21
REV 2 SUP		10/19/21
REV 3 SUP		02/09/22

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SHEET TITLE:
EGRESS ANALYSIS

ORIGINAL SHEET ISSUE DATE:
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SCALE:
1/16" = 1'-0"

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S&S

SHEET NUMBER:
G5.1

REV	ISSUED FOR	DATE
CUP		01/07/20
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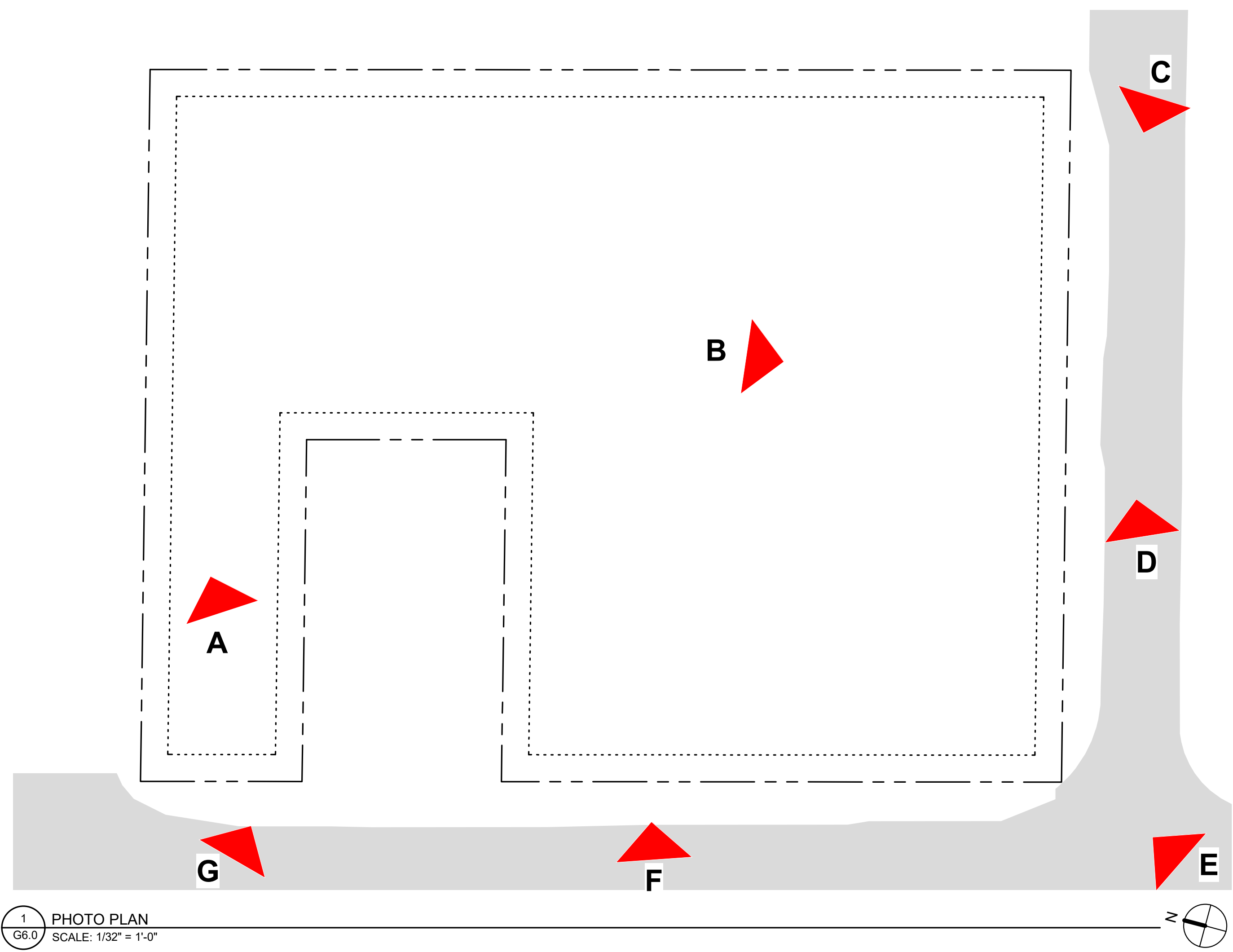
SHEET TITLE:
SITE PHOTOS

ORIGINAL SHEET ISSUE DATE:
 01/07/20

SCALE:
 1/32" = 1'-0"

DRAWN BY:
 AMA

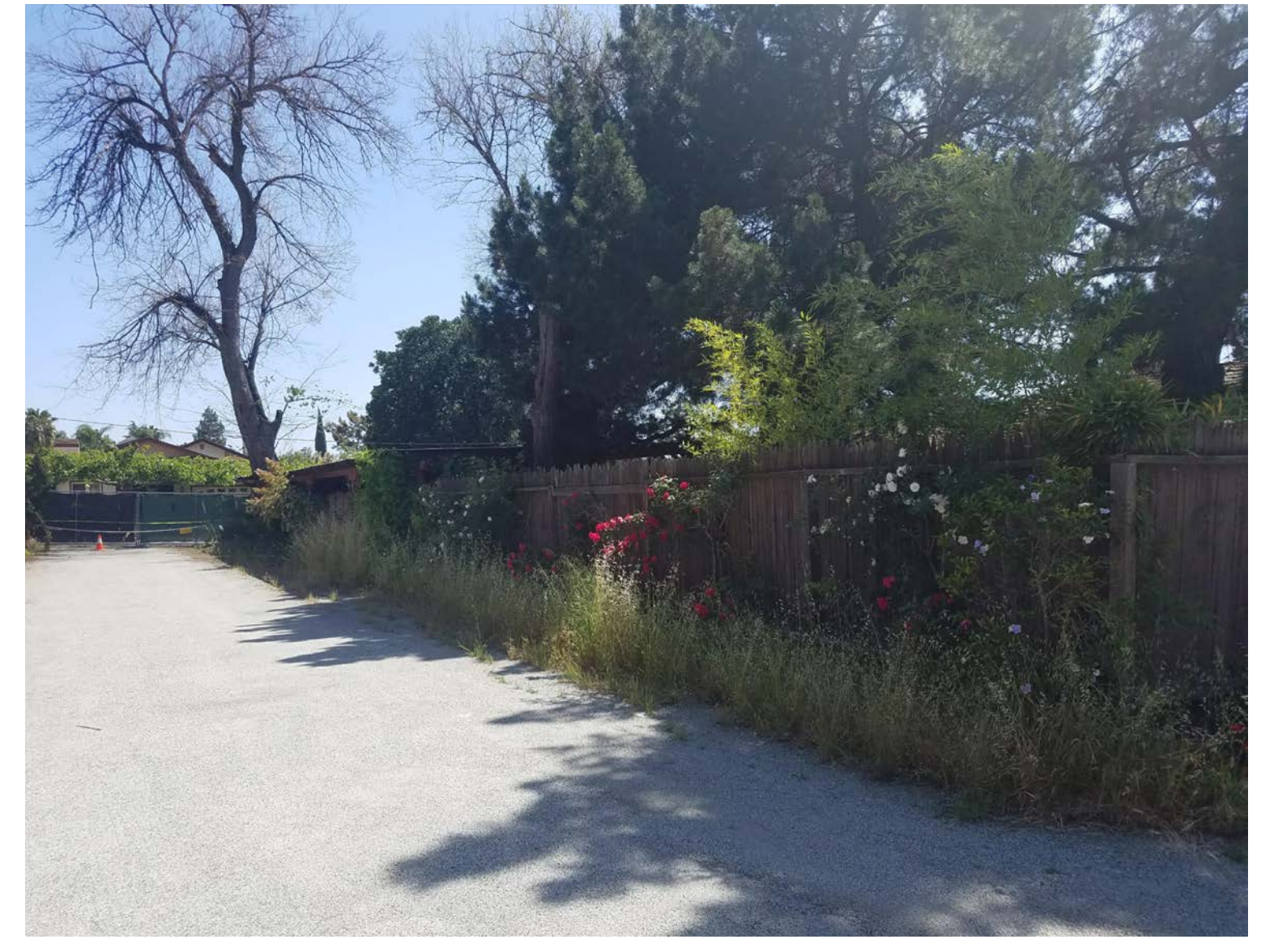
SHEET NUMBER:
G6.0



1 PHOTO PLAN
 G6.0 SCALE: 1/32" = 1'-0"



A: VIEW N.E. FROM RUBY AVE



B: VIEW S.E. TOWARDS NORWOOD AVE



C: VIEW W. ALONG NORWOOD AVE.



D: VIEW E. ALONG NORWOOD AVE.



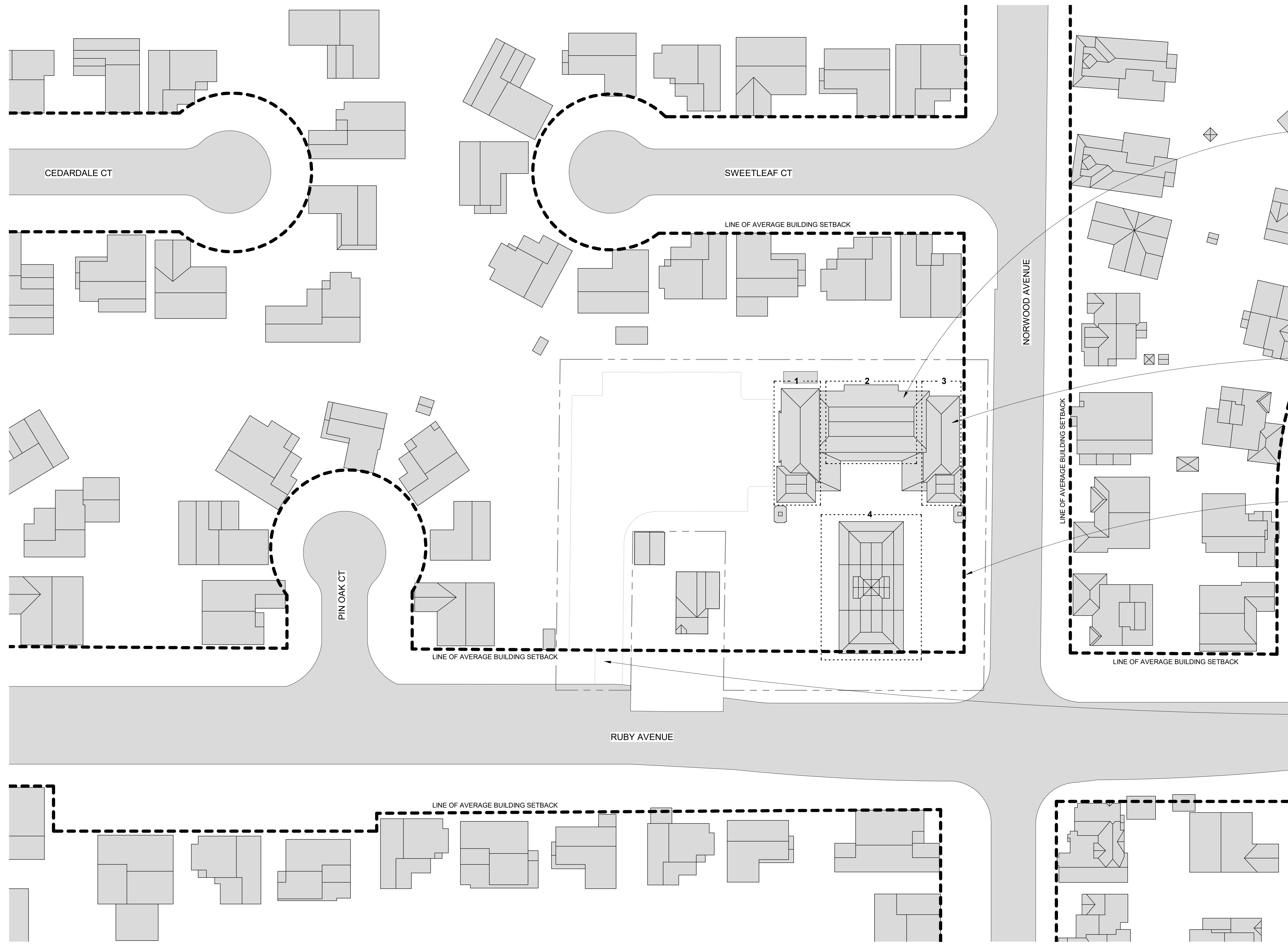
E: VIEW FROM INTERSECTION



F: VIEW E. ALONG RUBY AVE.



G: VIEW E. ALONG RUBY AVE.



BUILDING FORM, SCALE & ORIENTATION:

- BUILDING FORMS FOUND IN THE SURROUNDING DEVELOPMENT AND PROPOSED TEMPLE PROJECT ARE GENERALLY RECTILINEAR.

- SURROUNDING HOMES ARE VARIED IN SCALE WITH BUILDING FOOTPRINTS RANGING FROM APPROXIMATELY 1500-3500 SQUARE FEET. THE PROPOSED TEMPLE PROJECT INCLUDES STRUCTURES WITH BUILDING FOOTPRINTS THAT ARE INTENTIONALLY SUBDIVIDED INTO 4 SMALLER VOLUMES RANGING FROM APPROXIMATELY 2600-7200 SQUARE FEET TO ALIGN MORE CLOSELY WITH THE SCALE OF NEARBY DEVELOPMENT.

- BOTH THE SURROUNDING HOMES AND THE PROPOSED TEMPLE PROJECT INCLUDE STRUCTURES WHICH ARE TYPICALLY ORIENTED TO ALIGN ORTHAGONALLY WITH STREET FRONTAGE.

ROOF FORMS:

- SURROUNDING HOMES AND THE PROPOSED TEMPLE PROJECT EXHIBIT NEARLY EXCLUSIVELY PITCHED ROOFS OF VARIOUS PITCHES WITH COMBINATION OF GABLE AND HIPPED ROOF TYPES.

- A VARIETY OF ROOF SCALE IS FOUND IN SURROUNDING DEVELOPMENT AND THE PROPOSED PROJECT, INCLUDING LARGER PRIMARY ROOFS WITH SMALLER ACCENT GABLES AND DORMERS.

STREET FRONTAGE & FRONT SETBACK:

- THE FRONT SETBACK OF THE SURROUNDING HOMES IS TYPICALLY 20+ FEET. THE PROPOSED TEMPLE AND COMMUNITY BUILDINGS MAINTAIN THE RESIDENTIAL BUILDING FRONT SETBACK MINIMUM OF 20 FEET FROM THE EXISTING PROPERTY LINE.

- ADDITIONAL BUILDING SETBACK IS TYPICAL ALONG THE RUBY AVENUE STREET FRONTAGE OF NEARBY HOMES. THE PROPOSED TEMPLE PROJECT PROVIDES ADDITIONAL BUILDING SETBACK AT RUBY AVENUE TO ALIGN MORE CLOSELY WITH NEARBY HOMES.

- FRONT YARDS OF BOTH THE SURROUNDING HOMES AND THE PROPOSED TEMPLE PROJECT HAVE PLANTED GROUNDCOVERING AND LANDSCAPING WITH MATURE TREES.

VEHICULAR ENTRY AND PARKING:

- NEARBY HOMES AND INSTITUTIONAL DEVELOPMENTS WITH LOW TO MODERATE OCCUPANT CAPACITY TYPICALLY INCLUDE ONE DRIVEWAY AND SURFACE PARKING. THE PROPOSED TEMPLE PROJECT ALSO PROVIDES ONE DRIVEWAY WITH SURFACE PARKING.

- BOTH SURROUNDING DEVELOPMENTS AND THE TEMPLE PROJECT PROVIDE PAVED DRIVEWAY SURFACES.

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SHEET TITLE:
COMPATIBILITY EXHIBITS

ORIGINAL SHEET ISSUE DATE:
03/26/21

SCALE: 1" = 40'-0"
DRAWN BY: AMA

SHEET NUMBER:

G7.0

DATE PRINTED: 03/26/21 12:39:04 PM

REV	ISSUED FOR	DATE
REV 1 SUP		03/26/21
REV 2 SUP		10/19/21
REV 3 SUP		02/09/22

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WAT KHMER KAMPUCHEA KROM
 2740 RUBY AVENUE
 SAN JOSE, CALIFORNIA 95148
 APN: 652-29-014
 PROJECT FILE NO. SP20-024

ANDREW MANN ARCHITECTURE
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SHEET TITLE:
COMPATIBILITY EXHIBITS

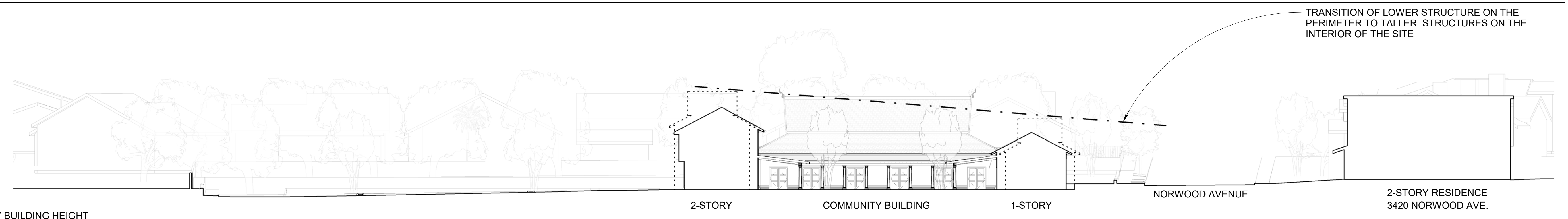
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03/26/21

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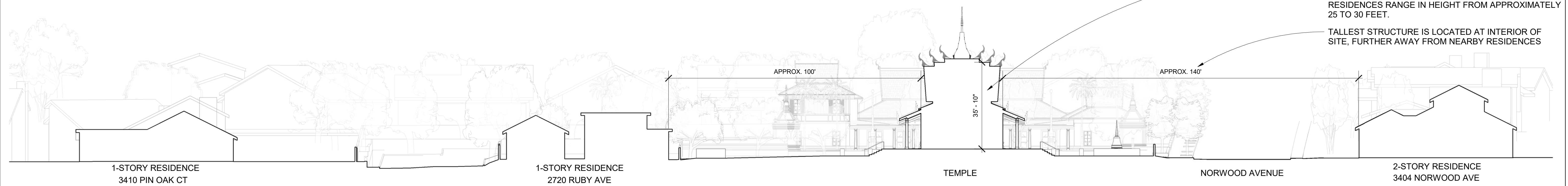
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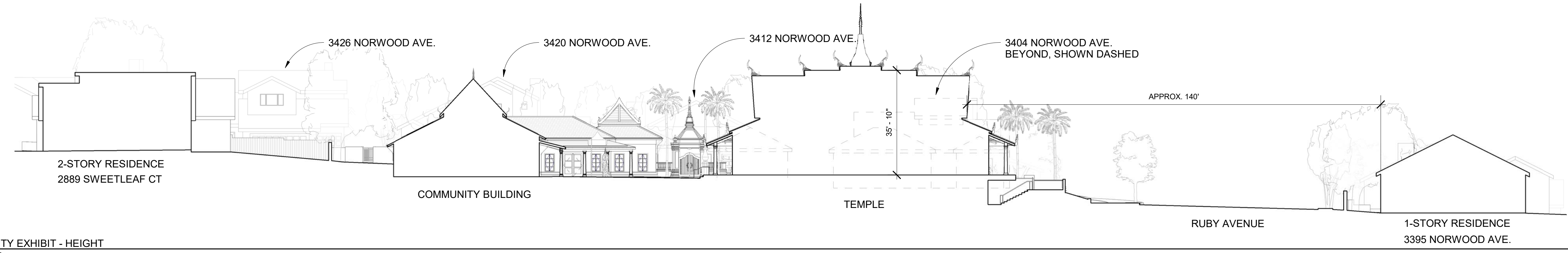
3 COMPATIBILITY EXHIBIT - COMMUNITY BUILDING HEIGHT
 G7.1 SCALE: 1" = 20'-0"



2 HEIGHT EXHIBIT - EXTENDED SITE SECTION THROUGH TEMPLE, LOOKING EAST
 G7.1 SCALE: 1" = 20'-0"



1 COMPATIBILITY EXHIBIT - HEIGHT
 G7.1 SCALE: 1" = 20'-0"



(ABOVE) RENDERED ELEVATION LOOKING NORTH FROM NORWOOD AVENUE



(ABOVE) RENDERED ELEVATION LOOKING EAST FROM RUBY AVENUE



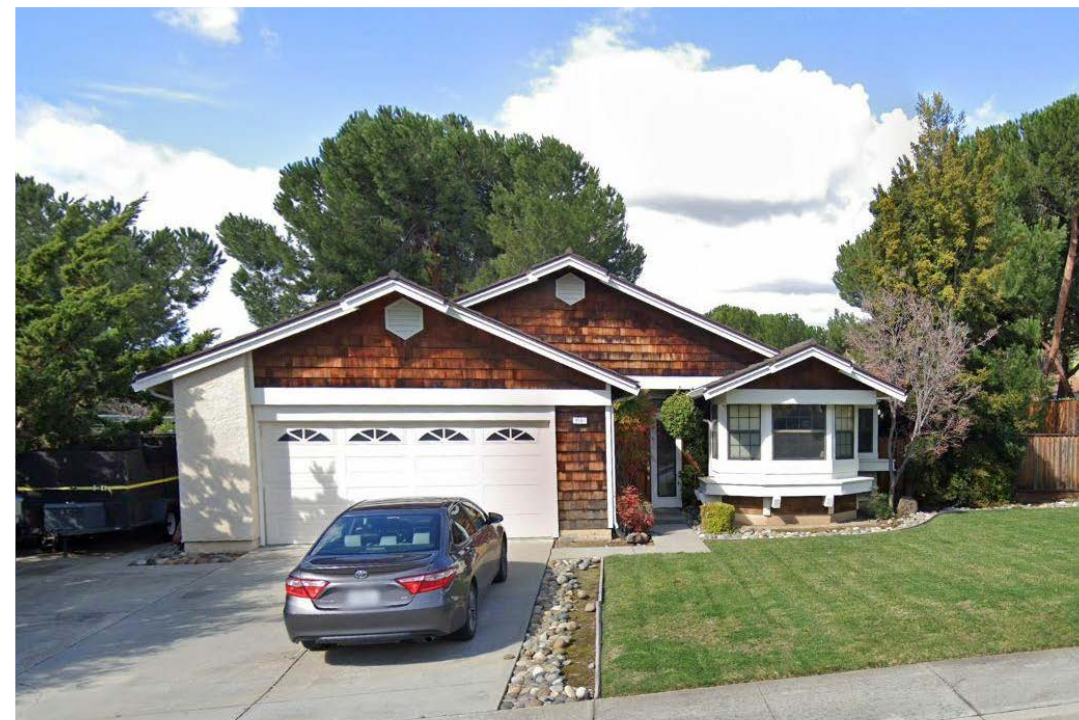
(ABOVE) PROPOSED KITCHEN, OFFICE/MEETING, & MONK'S RESIDENCE AS VIEWED FROM SURFACE PARKING LOT



(ABOVE) PROPOSED TEMPLE AS VIEWED FROM NORWOOD AVENUE



(ABOVE) PROPOSED ENTRY GATE & CLASSROOM AS VIEWED FROM NORWOOD AVENUE



(ABOVE) NEARBY RESIDENTIAL DEVELOPMENT

COMPATIBILITY EXHIBIT: BUILDING ELEMENTS & MATERIALS

THE PROPOSED TEMPLE PROJECT INCLUDES THE FOLLOWING BUILDING ELEMENTS AND MATERIALS WHICH APPEAR IN THE SURROUNDING DEVELOPMENT, INCLUDING RESIDENTIAL HOMES AND NEARBY ASSEMBLY USES. REFER TO PHOTOGRAPHS AND PROPOSED RENDERINGS ABOVE FOR VISUAL CONFIRMATION OF COMMON BUILDING ELEMENTS 1-7.

- EXTERIOR WALLS:** OFF-WHITE STUCCO AND VERTICAL WOOD SIDING. NEARBY DEVELOPMENT EXHIBITS A RANGE OF EXTERIOR SIDING MATERIALS SUCH AS STUCCO, VERTICAL OR HORIZONTAL SIDING, WOOD SHINGLE, BOARD BATTEN, AND BRICK. COLORS ARE OFTEN NEUTRAL, NATURAL, OR FINISHED IN A MUTED COLOR.
- WINDOWS AND DOORS:** PAINTED WOOD WINDOWS AND DOORS WITH DIVIDED LITES, WOOD SHUTTERS.
 - NEARBY DEVELOPMENT TYPICALLY EXHIBITS PAINTED WOOD WINDOWS, SOME OF WHICH INCLUDE DIVIDED LITES AND/OR SHUTTERS.
- ROOF MATERIAL:** GREY CERAMIC ROOF TILES WITH COLORED RED AND GREEN ACCENT TILES. PAINTED EAVES.
 - SURROUNDING DEVELOPMENT INCLUDES ALMOST EXCLUSIVELY CLAY TILE ROOFS. THE ROOFS ARE FOUND IN A RANGE OF GREY AND TERRACOTTA COLORS WITH SOME HOMES EXHIBITING BRIGHTER, RED ROOF TILES. EAVES MAY MATCH THE ROOF MATERIAL AND ARE SOMETIME PAINTED AN ACCENT COLOR.
- ROOF FORMS:** SURROUNDING HOMES AND THE PROPOSED TEMPLE PROJECT EXHIBIT NEARLY EXCLUSIVELY PITCHED ROOFS OF VARIOUS SLOPES WITH COMBINATION OF GABLE AND HIPPED ROOF TYPES. A VARIETY OF ROOF SCALE IS FOUND IN SURROUNDING DEVELOPMENT AND THE PROPOSED PROJECT, INCLUDING LARGER PRIMARY ROOFS WITH SMALLER ACCENT GABLES AND DORMERS.
- SITE WALLS:** NEUTRAL STUCCO AND CAST STONE WALLS. LONGER SITE WALLS ARE VISUALLY DIVIDED INTO SMALLER SECTIONS AND ARE PROVIDED AS SCREENING FOR THE PROPERTY AND AS BARRIERS BETWEEN ADJACENT STREET TRAFFIC.
 - SITE WALLS AT NEARBY HOMES ARE OFTEN MASONRY OR PAINTED STUCCO. WALLS ARE SOMETIMES SOLID AND SOMETIMES EXHIBIT TEXTURAL OR CARVED SURFACES AND ARE OFTEN SUBDIVIDED INTO SMALLER PANELS.
- COVERED PORCHES:** COVERED PORCHES UTILIZING ROOF OVERHANG AND SUPPORTED BY PLASTER AND CARVED STONE COLUMNS SIMILAR IN COLOR TO THE EXTERIOR WALLS AND TRIM.
 - NEARBY HOMES OFTEN HAVE COVERED PORCHES SUPPORTED BY THE HOME'S STRUCTURE OR COLUMNS. A NEARBY CHURCH INCLUDES LONG COVERED PORCHES ALONG THE LENGTH OF ITS TWO STRUCTURES ON SITE. THE PORCHES UTILIZE THE ROOF OVERHANG ABOVE AND ARE SUPPORTED BY A SERIES OF COLUMNS WHICH ARE SIMILAR IN COLOR TO THE EXTERIOR WALLS.
- LANDSCAPING ELEMENTS:** LANDSCAPING ELEMENTS INCLUDE GARDEN SPACES ALONG RUBY AND NORWOOD AVENUE FRONTAGES, MATURE TREES RANGING IN HEIGHT, STREET TREES, AND A VARIETY OF PLANTS. TREES AND PLANTS ARE UTILIZED AT THE SIDE AND REAR PROPERTY LINES AS A METHOD OF SCREENING THE PROPERTY.
 - NEARBY DEVELOPMENT IS TYPICALLY COMPOSED OF LANDSCAPED FRONT YARDS WITH A VARIETY OF PLANTS AND MATURE TREES. STREET TREES ARE OFTEN LOCATED AT NEARBY ASSEMBLY AND OTHER NON-RESIDENTIAL DEVELOPMENT.

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REV 3 SUP		02/09/22

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COMPATIBILITY EXHIBITS

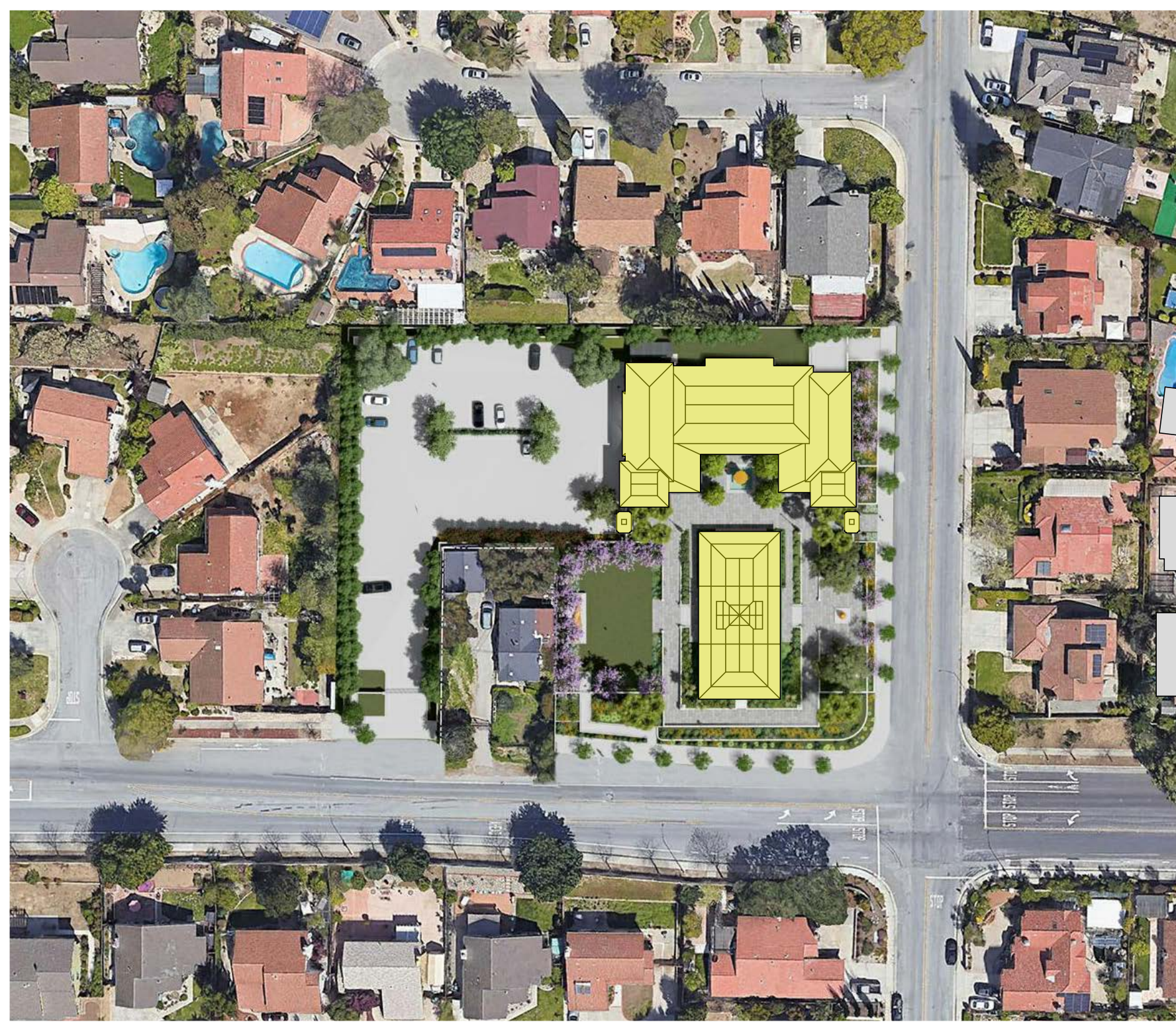
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03/26/21

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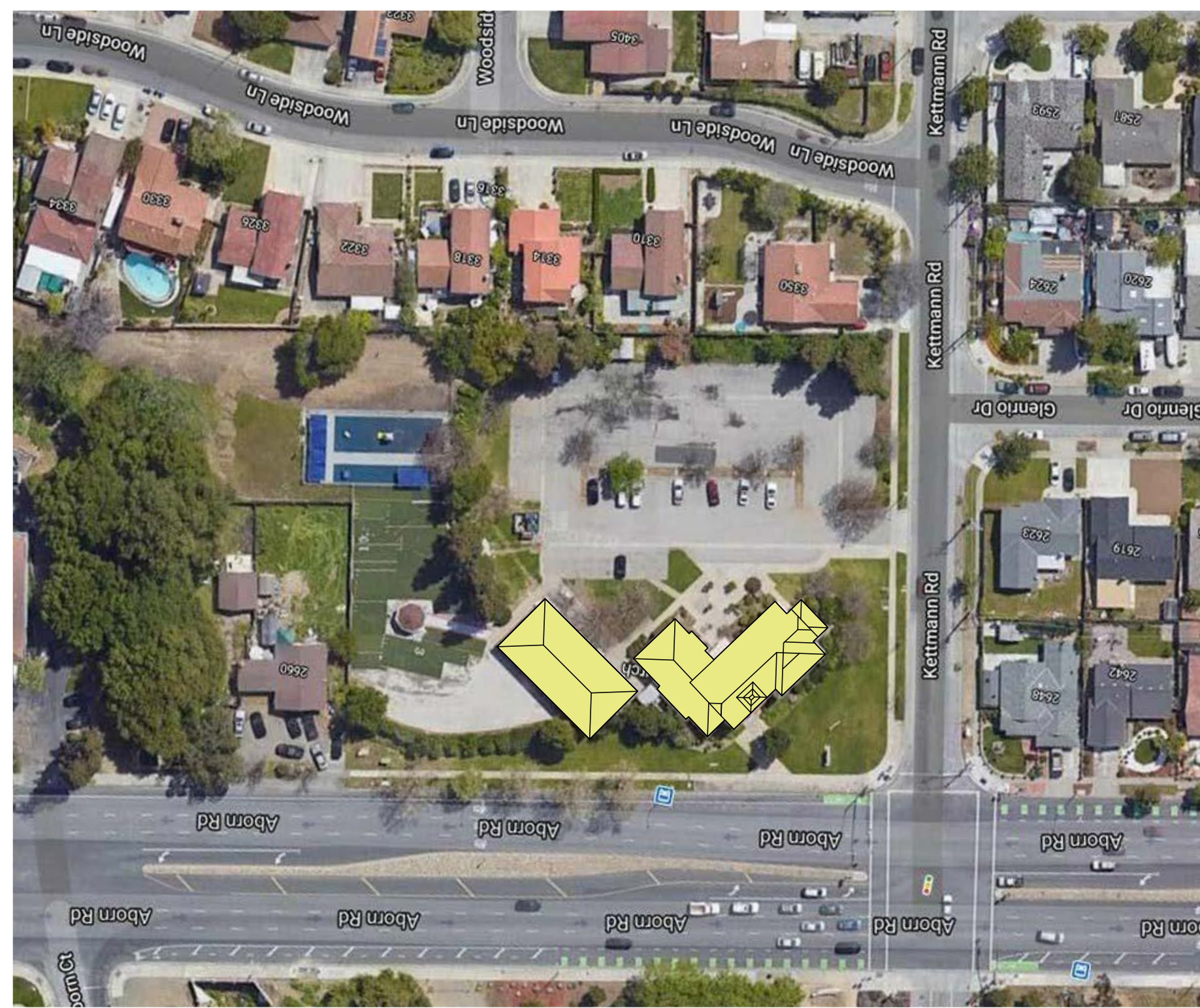
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G7.2

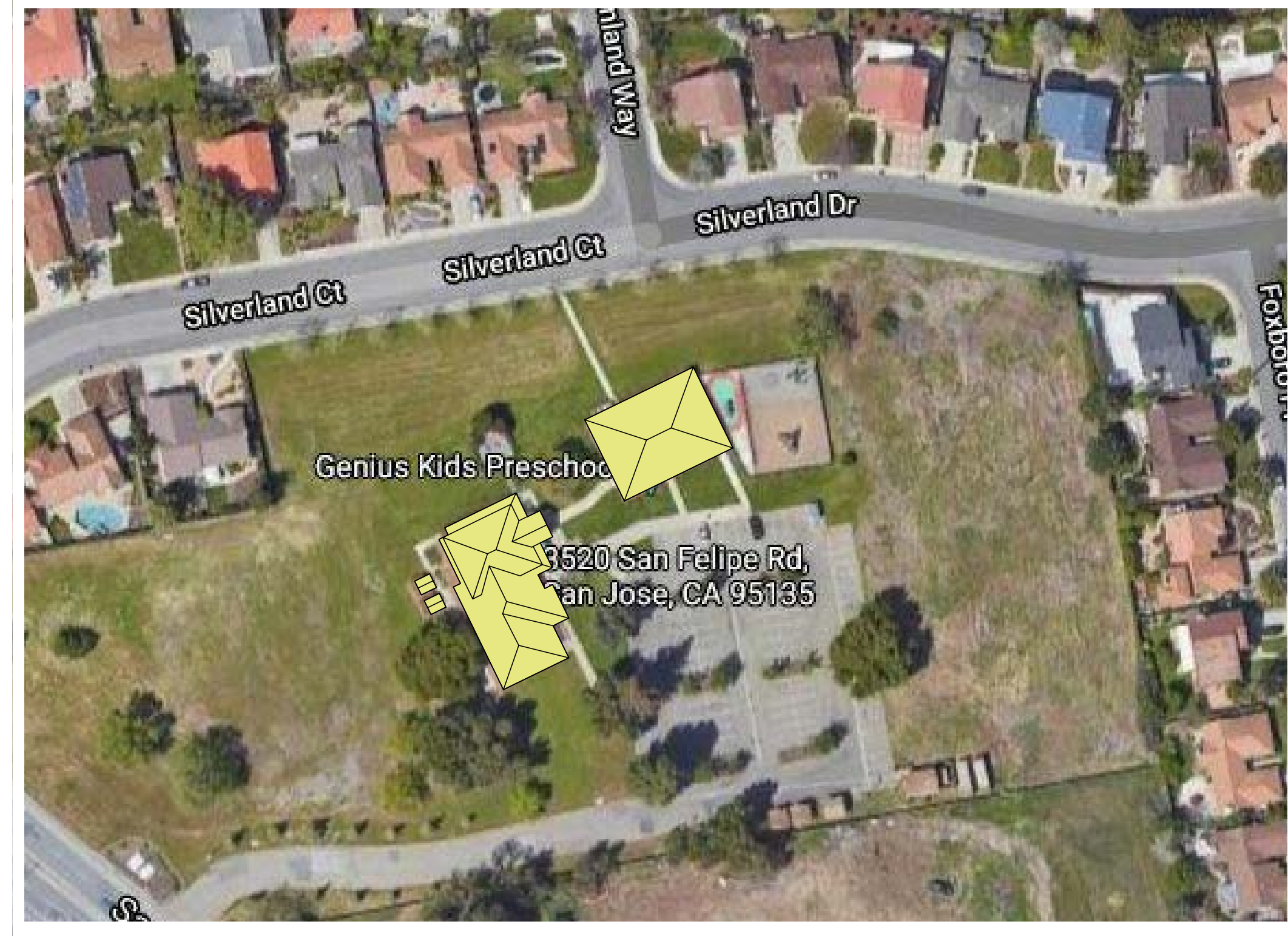
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1 PROPOSED PROJECT
G7.3 SCALE: 1" = 80'-0"



2 GRACE CHURCH
G7.3 SCALE: 1" = 80'-0"



3 EVERGREEN VALLEY UNITED METHODIST CHURCH
G7.3 SCALE: 1" = 80'-0"



PROPOSED PROJECT (PQP)

2740 Ruby Avenue, San Jose, CA 95148



GRACE CHURCH (R-1-8)

2650 Aborn Rd, San Jose, CA 95121



EVERGREEN VALLEY UNITED METHODIST CHURCH (R-1-5)

3520 San Felipe Rd, San Jose, CA 95135

COMPATIBILITY EXHIBIT: COMPARISON WITH NEARBY ASSEMBLY USES

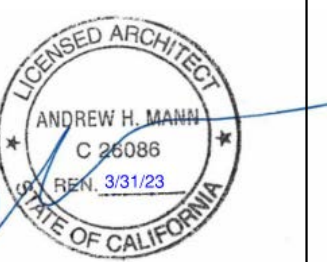
THE PROPOSED TEMPLE PROJECT INCLUDES THE FOLLOWING ELEMENTS WHICH ARE SIMILAR TO NEARBY ASSEMBLY USE SPACES. REFER TO PHOTOGRAPHS, PLANS, AND PROPOSED RENDERINGS ABOVE FOR VISUAL CONFIRMATION OF COMMON PROJECT ELEMENTS.

- BUILDING FORM, SCALE & ORIENTATION:** BUILDING FORMS FOUND IN THE NEARBY ASSEMBLY USE SPACES AND PROPOSED TEMPLE PROJECT ARE GENERALLY RECTILINEAR AND ARE 1 TO 2 STORIES IN HEIGHT. GRACE CHURCH IS APPROXIMATELY 35'-11" TALL FROM ADJACENT FINISHED GRADE, NOT INCLUDING THE STEEPLE. THE FINISHED HEIGHT OF THE PRIMARY PORTION OF THE TEMPLE ROOF IS 35'-10" FROM ADJACENT FINISHED GRADE. A SMALL ACCENT ROOF AND SPIRE EXTEND ABOVE. NEARBY ASSEMBLY USE SPACES SUCH AS EVERGREEN VALLEY UNITED METHODIST CHURCH AND GRACE CHURCH INCLUDE MULTIPLE STRUCTURES, TYPICALLY ONE STRUCTURE FOR THE SANCTUARY AND A SECOND STRUCTURE FOR COMMUNITY SERVICES, LIKE THE PROPOSED PROJECT. SOME NEARBY ASSEMBLY USE SPACES ARE ORIENTED PARALLEL TO STREET FRONTAGE, WHEREAS OTHERS ARE NOT.
- ROOF MATERIAL & FORMS:** BROWN OR NEUTRAL ROOF TILES SOMETIMES WITH COLORED ACCENT TILES ARE COMMONLY FOUND IN NEARBY ASSEMBLY USE DEVELOPMENT. THE PROPOSED PROJECT INCLUDES GRAY ROOF TILES WITH RED AND GREEN ACCENT TILES. NEARBY ASSEMBLY USE SPACES AND THE PROPOSED TEMPLE PROJECT EXHIBIT NEARLY EXCLUSIVELY PITCHED ROOFS OF VARIOUS SLOPES WITH COMBINATION OF GABLE, HIPPED, AND SHED ROOF FORMS. COVERED PORCHES ARE ALSO FOUND IN BOTH NEARBY ASSEMBLY USE DEVELOPMENT AND THE PROPOSED PROJECT. COVERED PORCHES UTILIZE ROOF OVERHANG AND ARE SUPPORTED BY COLUMNS SIMILAR IN COLOR TO THE EXTERIOR WALLS AND TRIM.
- SETBACKS & STREET FRONTAGE:** SETBACKS OF NEARBY ASSEMBLY USE SPACES VARY, USUALLY DEPENDING ON LOT SIZE. LARGER LOTS OFTEN EXHIBIT LARGER BUILDING SETBACKS, WHEREAS SMALLER LOTS TYPICALLY EXHIBIT SMALLER SETBACKS WHICH MAINTAIN OR EXCEED ZONING REQUIREMENTS. BUILDINGS ARE TYPICALLY SITUATED CLOSEST TO THE STREET FRONTAGE(S). THE SITE PLACEMENT OF NEARBY ASSEMBLY USE SPACES, SUCH AS THE SANCTUARY AT GRACE CHURCH, YIELD PROMINENT VIEWS FROM STREET FRONTAGES, AND MORE MODEST VIEWS ALONG THE SIDE AND REAR PROPERTY LINES WHERE THE BUILDINGS ARE ADJACENT TO RESIDENCES. THIS IS CONSISTENT WITH THE SITE PLACEMENT AND VIEWS CREATED BY THE PROPOSED PROJECT.
- EXTERIOR WALLS:** A COMBINATION OF OFF-WHITE STUCCO, VERTICAL AND HORIZONTAL SIDING, AND STONE ARE SOME OF THE MATERIALS FOUND IN BOTH THE NEARBY ASSEMBLY USE SPACES. THE PROPOSED PROJECT INCORPORATES OFF-WHITE STUCCO, VERTICAL WOOD SIDING, AND STONE IN THE EXTERIOR WALL MATERIALS.
- VEHICULAR ENTRY AND PARKING:** NEARBY ASSEMBLY USE DEVELOPMENT EXCLUSIVELY EXHIBIT SURFACE PARKING LOTS AND OFTEN INCLUDE ONE DRIVEWAY. THE PROPOSED TEMPLE PROJECT ALSO PROVIDES ONE DRIVEWAY WITH SURFACE PARKING.
- LOCATION:** NEARBY ASSEMBLY USE DEVELOPMENT IN EVERGREEN IS TYPICALLY FRONTED BY A MAIN ROAD AND SURROUNDED BY 1 AND 2-STORY RESIDENCES.

- OPERATIONS:** A COMPARISON BETWEEN GRACE CHURCH AND THE PROPOSED PROJECT.
 - CAPACITY:** GRACE CHURCH ADVERTISES AN EVENT CAPACITY OF 350 PEOPLE. THE PROPOSED PROJECT INCLUDES A VOLUNTARY CAP OF 300 VISITORS.
 - HOURS OF OPERATION:** GRACE CURCH: 7AM-10PM, PROPOSED PROJECT: 9AM-10PM.
 - PRESCHOOL:** IS OFFERED AT GRACE CHURCH, BUT NOT THE PROPOSED PROJECT.
 - HALL RENTAL:** GRACE CHURCH TYPICALLY OFFERS PUBLIC RENTAL OF THE COMMUNITY HALL TWICE EVERY WEEK OF THE YEAR. THE HALL WAS OCCUPIED APPROXIMATELY 79 TIMES IN 2019 (ACCORDING TO GRACE CHURCH ONLINE HALL RESERVATION SYSTEM). THE PROPOSED PROJECT DOES NOT OFFER PUBLIC RESERVATIONS OF THE COMMUNITY HALL.
 - OUTDOOR EVENTS:** ARE ALLOWED AT GRACE CHURCH AND THE PROPOSED PROJECT
 - ALCOHOL:** IS SERVED AT BOTH GRACE CHURCH AND THE PROPOSED PROJECT
 - CATERING:** IS PROVIDED AT BOTH GRACE CHURCH AND THE PROPOSED PROJECT
 - SMOKING:** IS ALLOWED IN A DEDICATED ON-SITE SMOKING SPOT AT THE PROPOSED PROJECT IN EFFORT TO ELIMINATE SMOKING AROUND NEARBY RESIDENCES. IT IS UNKNOWN IF GRACE CHURCH OFFERS A DEDICATED ON-SITE SMOKING SPOT.
 - AMPLIFIED SOUND:** IS PERMITTED INDOORS AT GRACE CHURCH. THIS PROJECT PROPOSES AMPLIFIED SOUND INDOORS AND AT THE EXTERIOR DURING SELECT RELIGIOUS ACTIVITIES. EXTERIOR AMPLIFIED SOUND TO ADHERE TO CITY PERMISSIVE STANDARDS & REGULATIONS.

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REV 2 SUP		10/19/21
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SCALE:
1" = 80'-0"

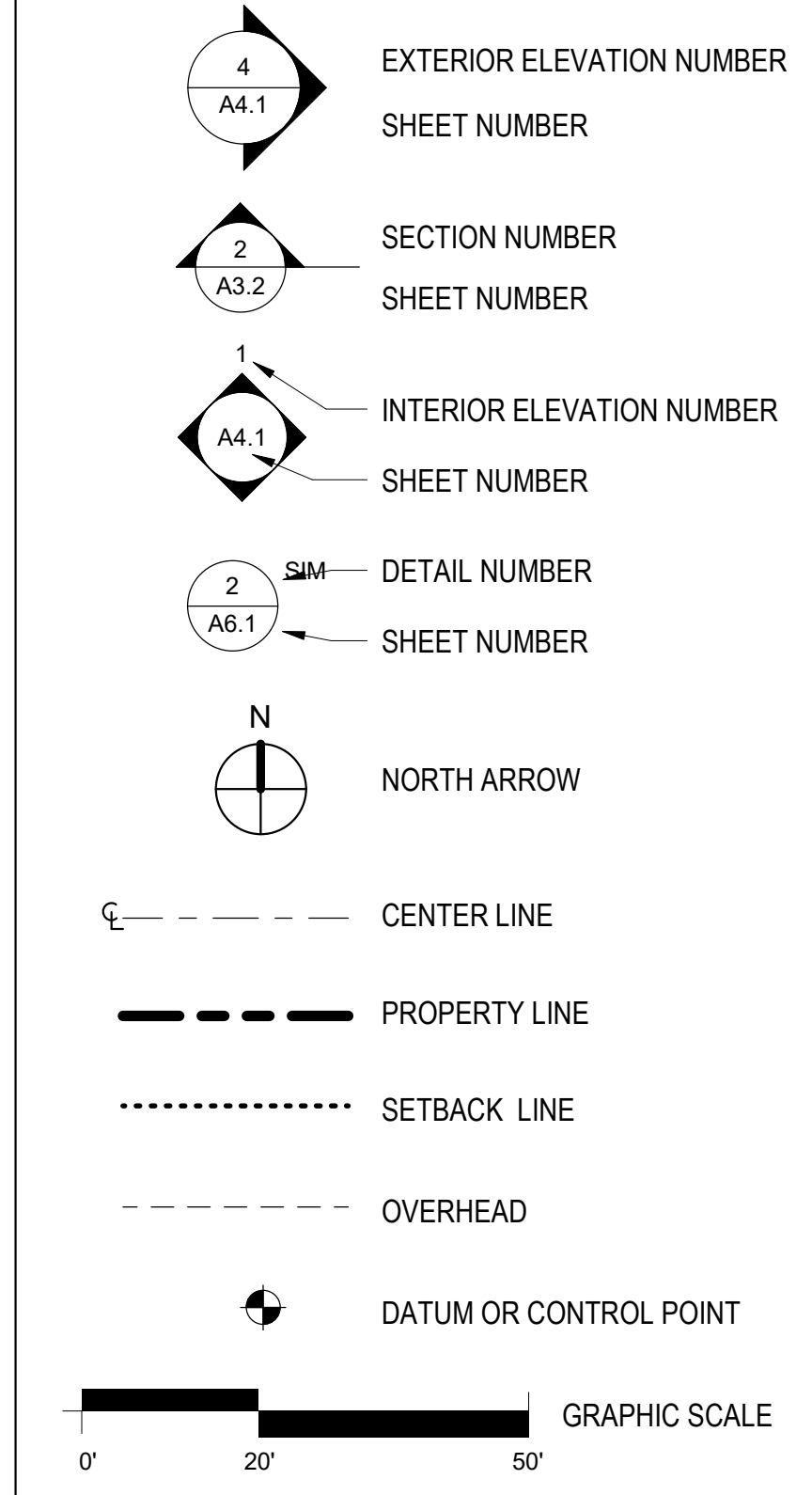
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AMA

SHEET NUMBER:
G7.3

ABBREVIATIONS

ABV.	ABOVE	NAT.	NATURAL
ACOUS.	ACOUSTICAL	N.I.C.	NOT IN CONTRACT
A.D.	AREA DRAIN	NO. or #	NUMBER
ADJ.	ADJUSTABLE	NOM.	NOMINAL
APPROX	APPROXIMATE	N.T.S.	NOT TO SCALE
ARCH.	ARCHITECTURAL	O.A.	OVERALL
ASPH.	ASPHALT	O.C.	ON CENTER
BD.	BOARD	O.D.	OUTSIDE DIAMETER
BITUM.	BITUMINOUS	OPNG.	OPENING
BLDG.	BUILDING	OPP.	OPPOSITE
BLKG.	BLOCKING	OS	OCCUPANCY SENSOR
BM.	BEAM	#	POUND OR NUMBER
BOT.	BOTTOM	PL	PLATE
CAB.	CABINET	P. LAM.	PLASTIC LAMINATE
CEM.	CEMENT	PLAS.	PLASTER
CER.	CERAMIC	PLYWD.	PLYWOOD
CL	CENTER LINE	PR.	PAIR
CLO.	CLOSET	PROP.	PROPERTY
CLR.	CLEAR	P.T.	PRESSURE TREATED
COL.	COLUMN	PTD.	PAINTED
CONC.	CONCRETE	R.	RISER OR RADIUS
CONSTR.	CONSTRUCTION	R.A.	RETURN AIR
CONT.	CONTINUOUS	RAD.	RADIUS
CTR.	CENTER	RCP	REFLECTED CEILING PLAN
D	DRYER	REF.	REFERENCE
DBL.	DOUBLE	REFR.	REFRIGERATOR
DET.	DETAIL	RGTR.	REGISTER
DIA.	DIAMETER	REINF.	REINFORCED
DIM.	DIMENSION	REQ.	REQUIRED
DISPO.	DISPOSAL	RM.	ROOM
D.W.	DISH WASHER	R.O.	ROUGH OPENING
DR.	DOOR	RDWD.	REDWOOD
DWR.	DRAWER	R.W.L.	RAIN WATER LEADER
DWG.	DRAWING	SCHED.	SCHEDULE
(E)	EXISTING	SECT.	SECTION
EL.	ELEVATION	SH.	SHelf
ELEC.	ELECTRICAL	SHR.	SHOWER
ELEV.	ELEVATION or ELEVATOR	S.I.D.	SEE INTERIOR DRAWINGS
EMP	ELEC. MECH. PLUMBING PLAN	SIM.	SIMILAR
ENCL.	ENCLOSURE	SL.	SLOPE
EQ.	EQUAL	S.L.A.D.	SEE LANDSCAPE ARCH. DRAWINGS
EXT.	EXTERIOR	SPEC.	SPECIFICATION
FDN.	FOUNDATION	SQ.	SQUARE
FIN.	FINISH	SSD.	SEE STRUCTURAL DRAWINGS
FLO.	FLOOR	SST.	STAINLESS STEEL
FLASH.	FLASHING	STD.	STANDARD
FLOUR.	FLOURESCENT	STL.	STEEL
F.O.	FACE OF	STOR.	STORAGE
FT.	FOOT	STRUCT.	STRUCTURAL
FTG.	FOOTING	SYM.	SYMMETRICAL
FURR.	FURRING	T.	TREAD
GA.	GAUGE	T.B.	TOWEL BAR
GALV.	GALVANIZED	TEL.	TELEPHONE
GL.	GLASS	T&G	TONGUE & GROOVE
GR.	GRADE	THK	THICK
GYP.	GYPsum	T.O.	TOP OF
H.B.	HOSE BIB	TV	TELEVISION
HDWD.	HARDWOOD	TYP.	TYPICAL
HDWE.	HARDWARE	U.O.N.	UNLESS OTHERWISE NOTED
HT.	HEIGHT	VERT.	VERTICAL
HORIZ.	HORIZONTAL	VGDF.	VERTICAL GRAIN DOUGLAS FIR
HR.	HOUR	V.I.F.	VERIFY IN FIELD
I.D.	INSIDE DIAMETER	W	WASHING MACHINE
INSUL.	INSULATION	W.H.	WATER HEATER
INT.	INTERIOR	W	WITH
JT.	JOINT	WD.	WOOD
KIT.	KITCHEN	WIND.	WINDOW
LAM.	LAMINATE	W/O	WITHOUT
LAV.	LAVATORY	W.O.	WHERE OCCURS
LOC.	LOCATION	W.P.	WATERPROOF
LT.	LIGHT	WSCT.	WAINSCOTT
MAX.	MAXIMUM	WT.	WEIGHT
M.C.	MEDICINE CABINET		
MECH.	MECHANICAL		
MEMB.	MEMBRANE		
MET.	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
MTD.	MOUNTED		

SYMBOLS LEGEND



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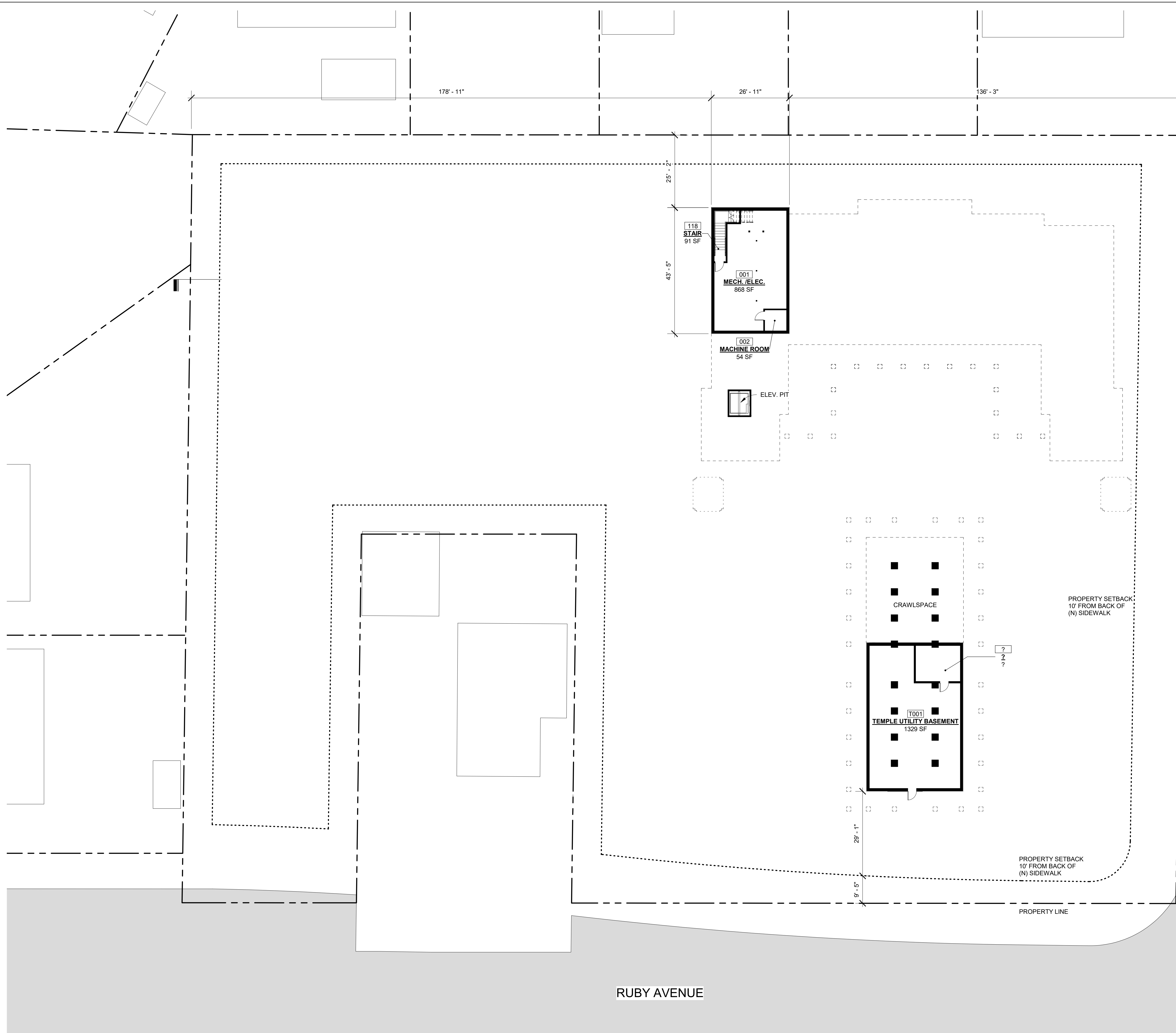
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GENERAL NOTES & ABBREVIATIONS

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1/4" = 1'-0"	AMA

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A0.0

DATE PRINTED: 08/09/2023 11:53:24 AM



NOTES:
 1. NET FLOOR AREAS SHOWN
 2. DIMENSIONS TO FINISHED FACE

3
A2.2

NORWOOD AVENUE

RUBY AVENUE

PROPERTY LINE

PROPERTY SETBACK
10' FROM BACK OF
(N) SIDEWALK

PROPERTY SETBACK
10' FROM BACK OF
(N) SIDEWALK

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SHEET TITLE:
**BASEMENT
FLOOR PLAN**

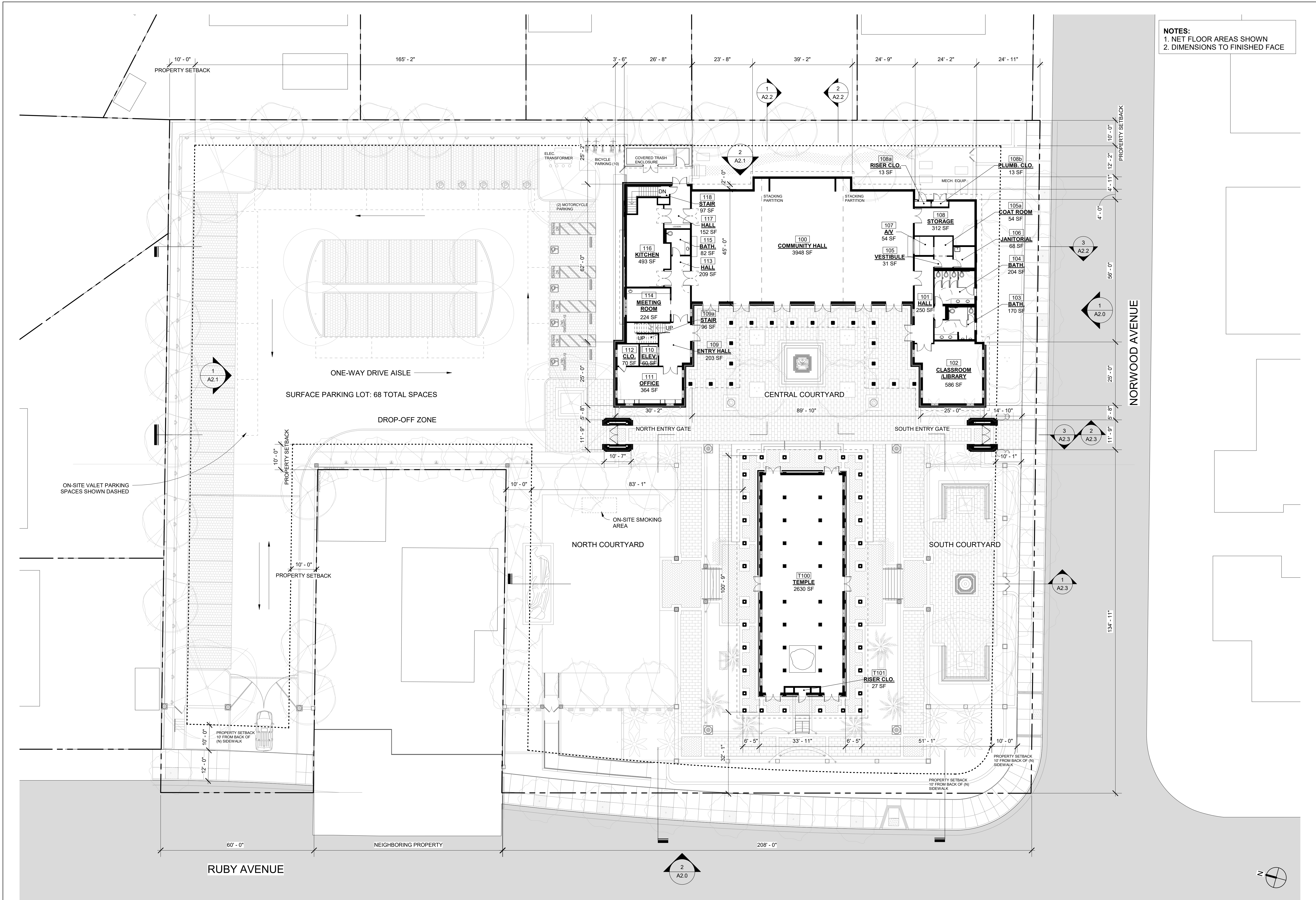
ORIGINAL SHEET ISSUE DATE:
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SCALE: 1/16" = 1'-0"
DRAWN BY: AMA

SHEET NUMBER:

A1.0

DATE PRINTED: 03/26/21 11:07 AM



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FIRST FLOOR PLAN

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SCALE:
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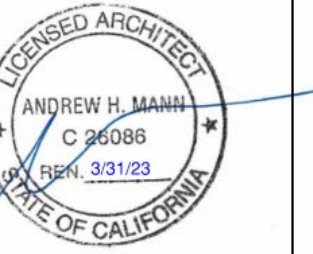
SHEET NUMBER:
A1.1

1 FIRST FLOOR PLAN
 A1.1 SCALE: 1/16" = 1'-0"

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SHEET TITLE:
SECOND FLOOR PLAN

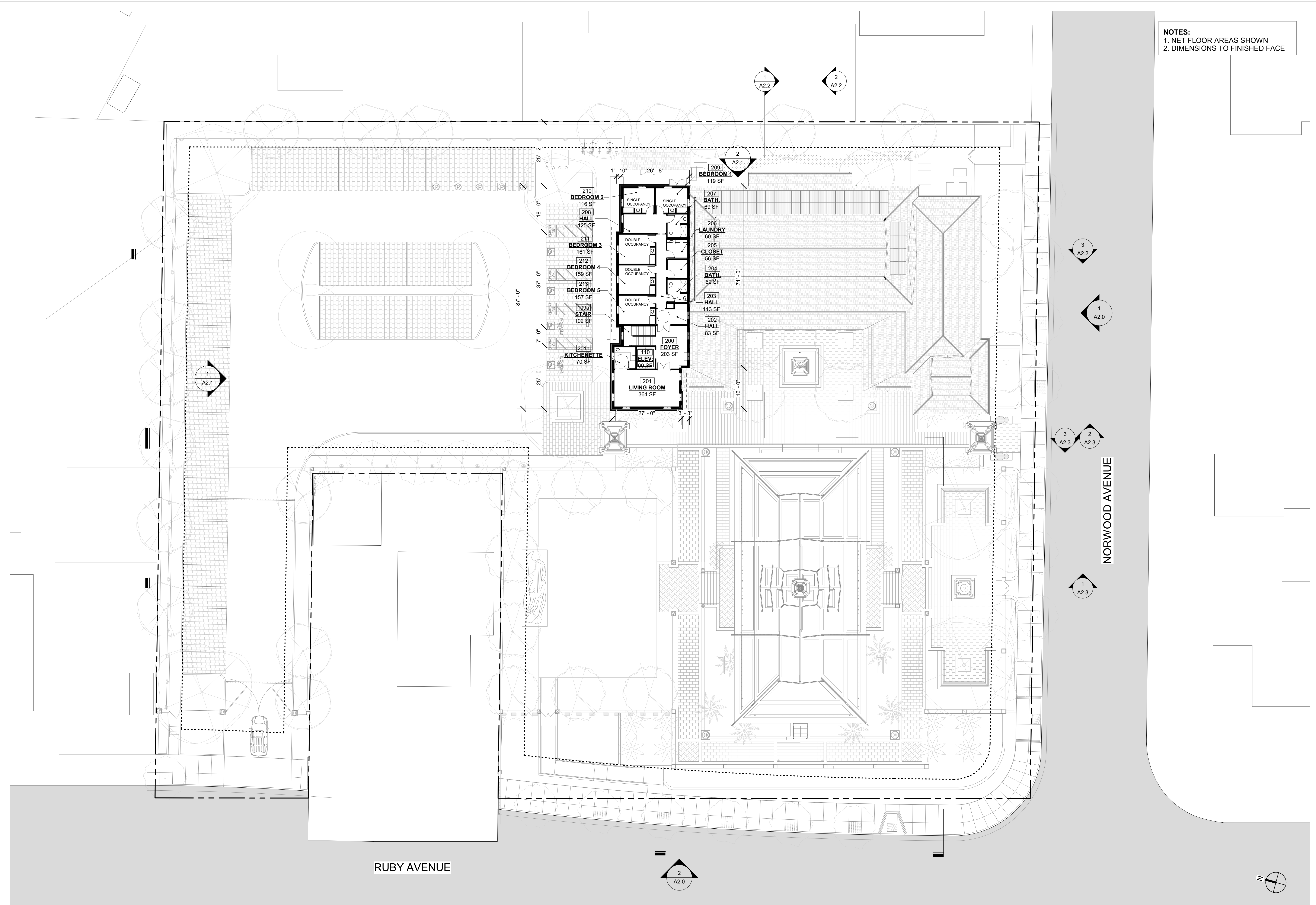
ORIGINAL SHEET ISSUE DATE:
 03/26/21

SCALE: 1/16" = 1'-0"
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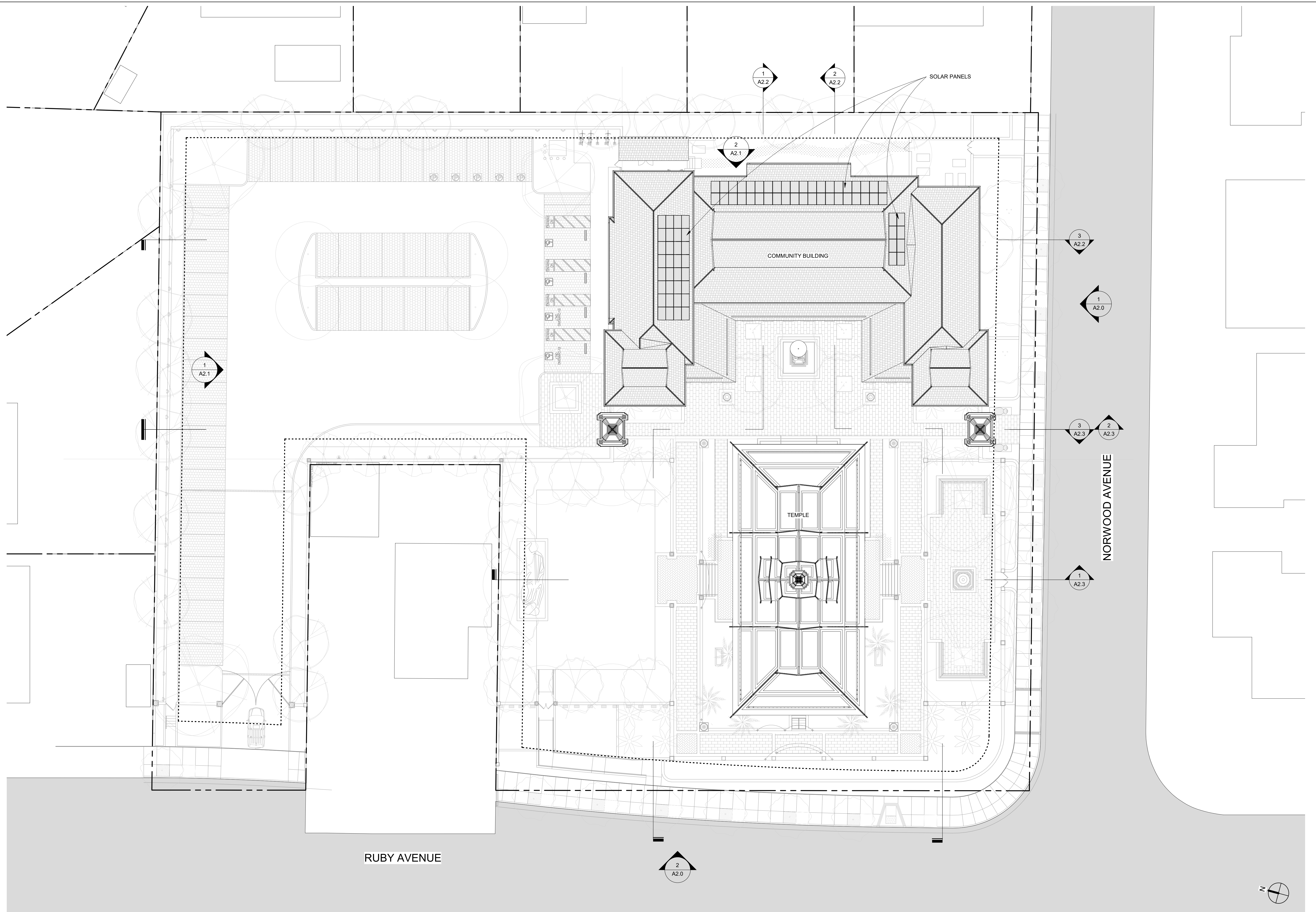
SHEET NUMBER:

A1.2

1 SECOND FLOOR PLAN
 A1.2 SCALE: 1/16" = 1'-0"



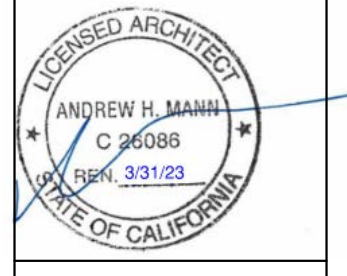
DATE PRINTED: 02/09/22 11:02:34 AM



1 ROOF PLAN
A1.3 SCALE: 1/16" = 1'-0"

REV	ISSUED FOR	DATE
CUP		01/07/20
REV 1 SUP		03/26/21
REV 2 SUP		10/19/21
REV 3 SUP		02/09/22

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WAT KHMER KAMPUCHEA KROM
2740 RUBY AVENUE
SAN JOSE, CALIFORNIA 95148
APN: 652-29-014
PROJECT FILE NO. SP20-024

ANDREW MANN ARCHITECTURE
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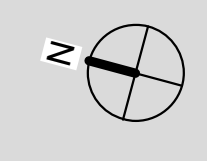
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SHEET TITLE:
ROOF PLAN

ORIGINAL SHEET ISSUE DATE:
01/07/20

SCALE: 1/16" = 1'-0"
DRAWN BY: AMA

SHEET NUMBER:
A1.3



NOTE: REFER SHEETS A6.0 THROUGH A6.3 FOR MATERIALS AND COLORS

REV	ISSUED FOR	DATE
CUP		01/07/20
REV 1 SUP		03/26/21
REV 2 SUP		10/19/21
REV 3 SUP		02/09/22

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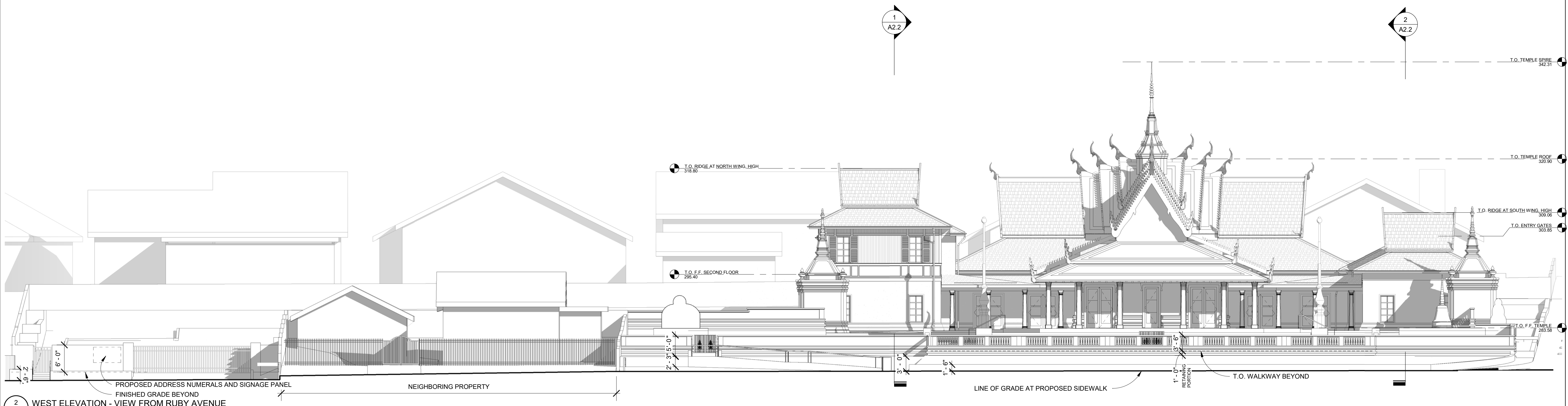
SHEET TITLE:
WEST & SOUTH EXTERIOR ELEVATIONS

ORIGINAL SHEET ISSUE DATE:
 01/07/20

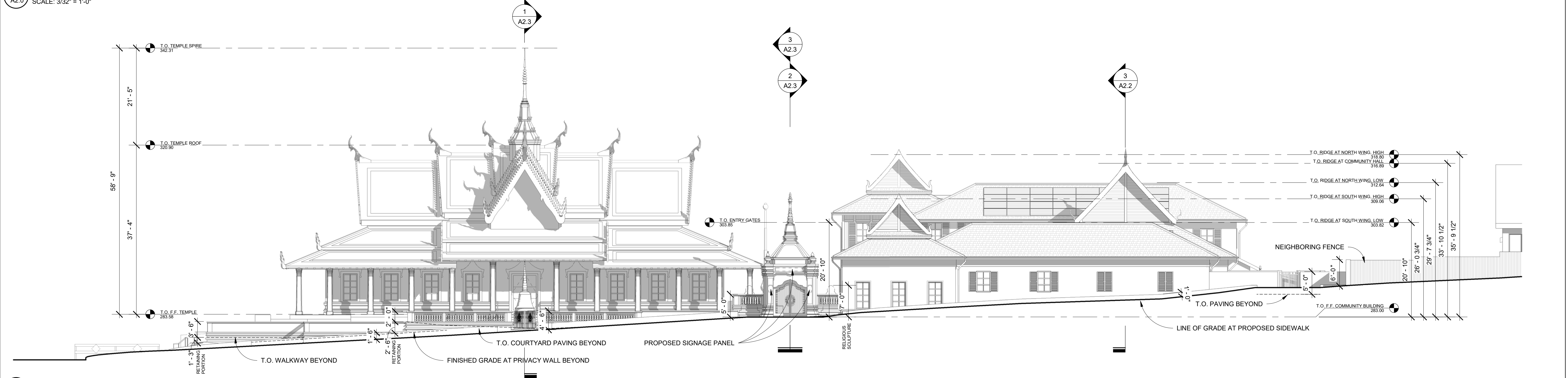
SCALE:
 3/32" = 1'-0"

DRAWN BY:
 AMA

SHEET NUMBER:
A2.0



2 WEST ELEVATION - VIEW FROM RUBY AVENUE
 SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION - VIEW FROM NORWOOD AVENUE
 SCALE: 3/32" = 1'-0"

NOTE: REFER SHEETS A6.0 THROUGH A6.3 FOR MATERIALS AND COLORS

REV	ISSUED FOR	DATE
CUP		01/07/20
REV 1 SUP		03/26/21
REV 2 SUP		10/19/21
REV 3 SUP		02/09/22

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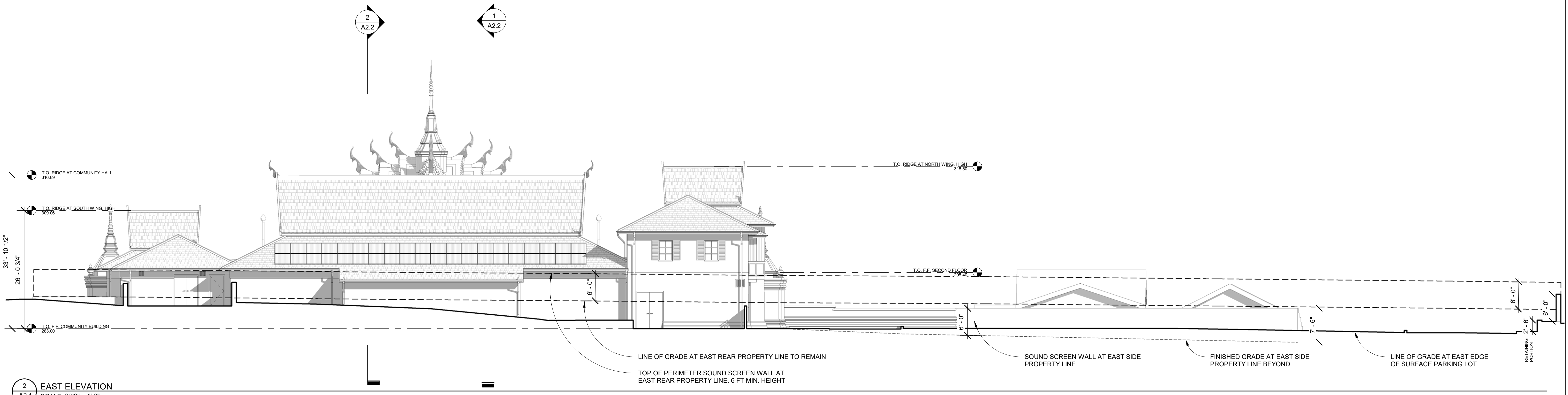
SHEET TITLE:
EAST & NORTH EXTERIOR ELEVATIONS

ORIGINAL SHEET ISSUE DATE:
 01/07/20

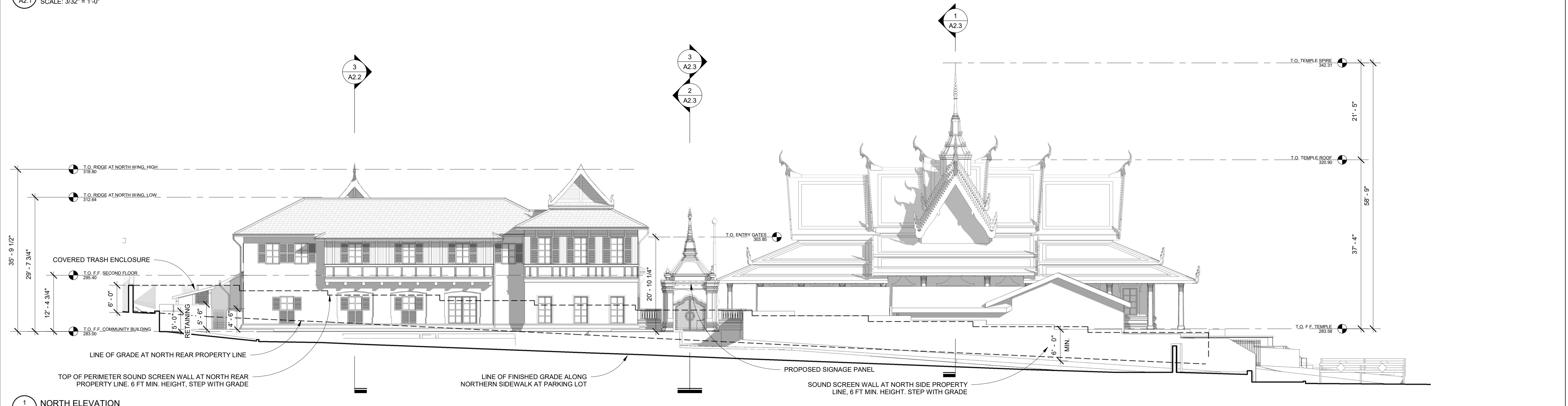
SCALE:
 3/32" = 1'-0"

DRAWN BY:
 AMA

SHEET NUMBER:
A2.1



2 EAST ELEVATION
 SCALE: 3/32" = 1'-0"



1 NORTH ELEVATION
 SCALE: 3/32" = 1'-0"

DATE PRINTED: 03/26/21 11:52 AM

NOTE: REFER SHEETS A6.0 THROUGH A6.3 FOR MATERIALS AND COLORS

REV	ISSUED FOR	DATE
CUP		01/07/20
REV 1 SUP		03/26/21
REV 2 SUP		10/19/21
REV 3 SUP		02/09/22

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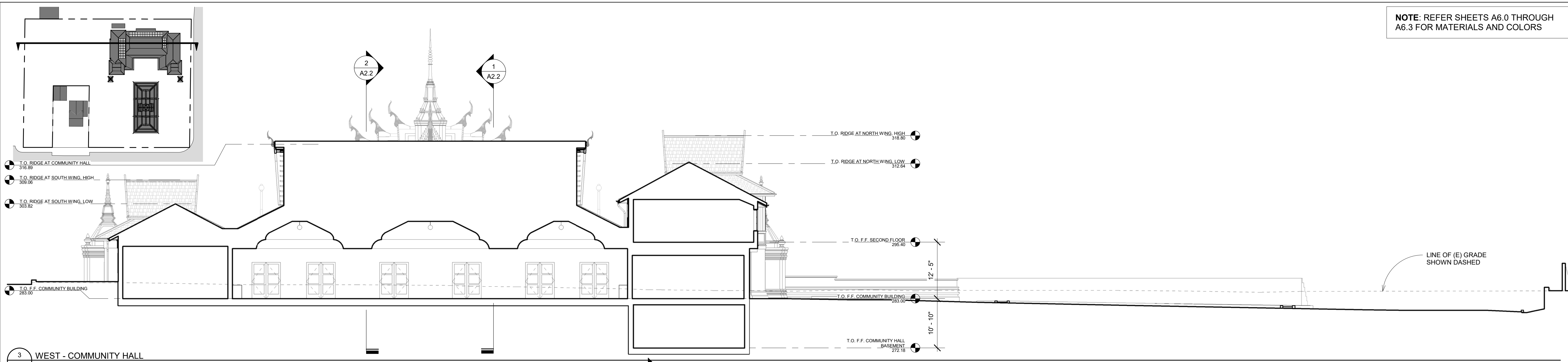
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ORIGINAL SHEET ISSUE DATE: 01/07/20

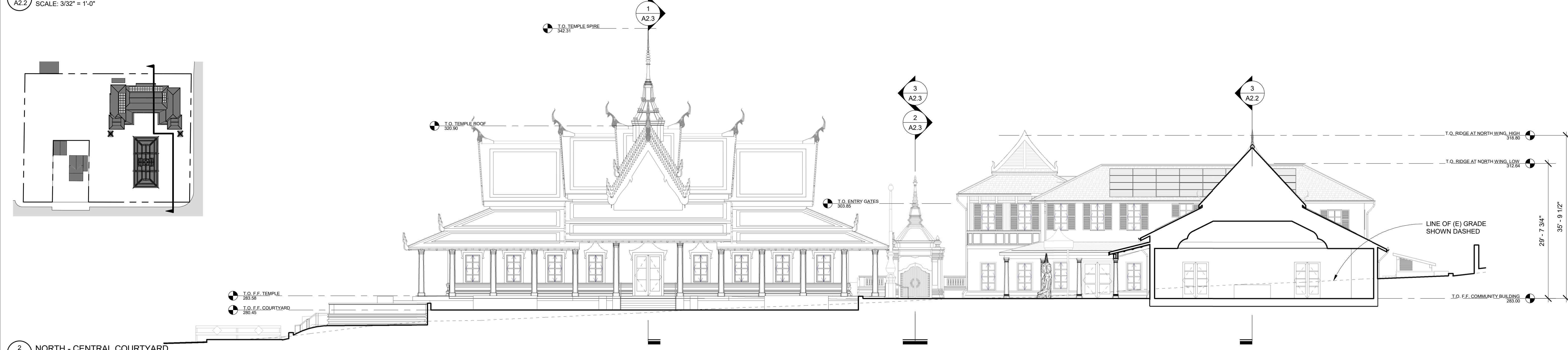
SCALE: As indicated
 DRAWN BY: AMA

SHEET NUMBER:

A2.2



3 WEST - COMMUNITY HALL
 SCALE: 3/32" = 1'-0"



2 NORTH - CENTRAL COURTYARD
 SCALE: 3/32" = 1'-0"

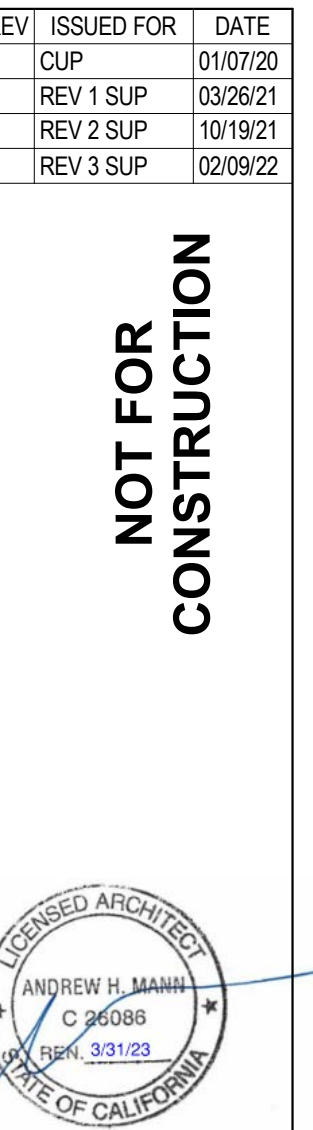


1 SOUTH - CENTRAL COURTYARD
 SCALE: 3/32" = 1'-0"

DATE PRINTED: 03/26/21 11:20 AM

REV	ISSUED FOR	DATE
CUP		01/07/20
REV 1 SUP		03/26/21
REV 2 SUP		10/19/21
REV 3 SUP		02/09/22

NOTE: REFER SHEETS A6.0 THROUGH A6.3 FOR MATERIALS AND COLORS



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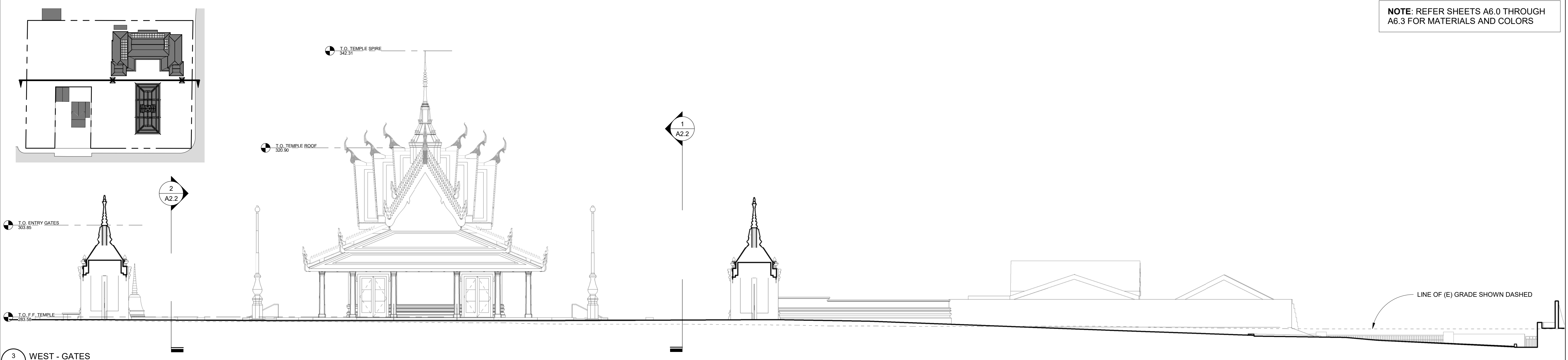
SHEET TITLE: SITE SECTIONS

ORIGINAL SHEET ISSUE DATE: 01/07/20

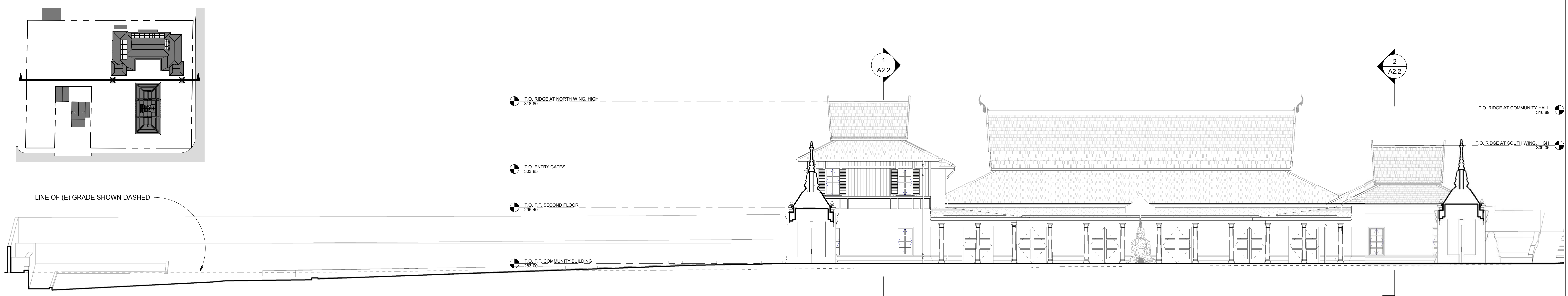
SCALE: As indicated
 DRAWN BY: AMA

SHEET NUMBER:

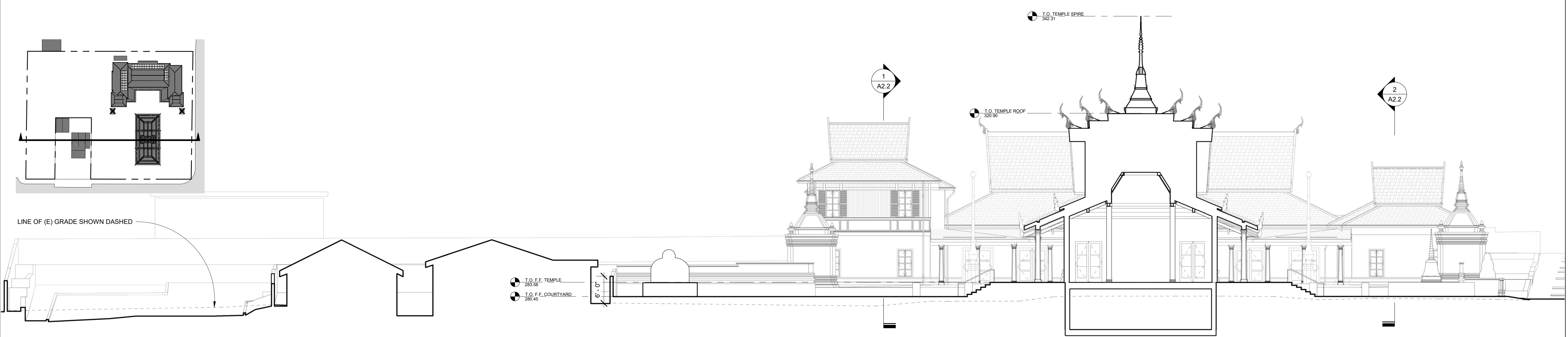
A2.3



3 WEST - GATES
SCALE: 3/32" = 1'-0"



2 EAST - GATES
SCALE: 3/32" = 1'-0"



1 EAST - TEMPLE
SCALE: 3/32" = 1'-0"

DATE PRINTED: 03/26/21 11:23 AM



AERIAL VIEW
(RENDERED VIEW ALSO LOCATED ON SHEET 0)



VIEW FROM SOUTHWEST CORNER OF THE INTERSECTION OF RUBY AVENUE &
NORWOOD AVENUE AT EYE LEVEL



VIEW FROM RUBY AVENUE AT EYE LEVEL
(RENDERED VIEW ALSO LOCATED ON SHEET G7.3)



VIEW FROM NORWOOD AVENUE AT EYE LEVEL

REV	ISSUED FOR	DATE
REV 1 SUP		03/26/21
REV 2 SUP		10/19/21
REV 3 SUP		02/09/22

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SHEET TITLE:
RENDERINGS

ORIGINAL SHEET ISSUE DATE:
03/26/21

SCALE: DRAWN BY:
AMA

SHEET NUMBER:

A5.0



VIEW FROM NORWOOD AT EYE LEVEL LOOKING WEST



VIEW OF ENTRY GATE & CLASSROOM AT EYE LEVEL FROM NORWOOD AVENUE
(RENDERED VIEW ALSO LOCATED ON SHEET G7.2)



VIEW OF KITCHEN, OFFICE/MEETING, & MONK'S RESIDENCE AT EYE LEVEL FROM SURFACE PARKING LOT
(RENDERED VIEW ALSO LOCATED ON SHEET G7.2)



VIEW OF TEMPLE AT EYE LEVEL FROM NORWOOD AVENUE
(RENDERED VIEW ALSO LOCATED ON SHEETS G7.2 & G7.3)

REV	ISSUED FOR	DATE
REV 1 SUP		03/26/21
REV 2 SUP		10/19/21
REV 3 SUP		02/09/22

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SHEET TITLE:
RENDERINGS

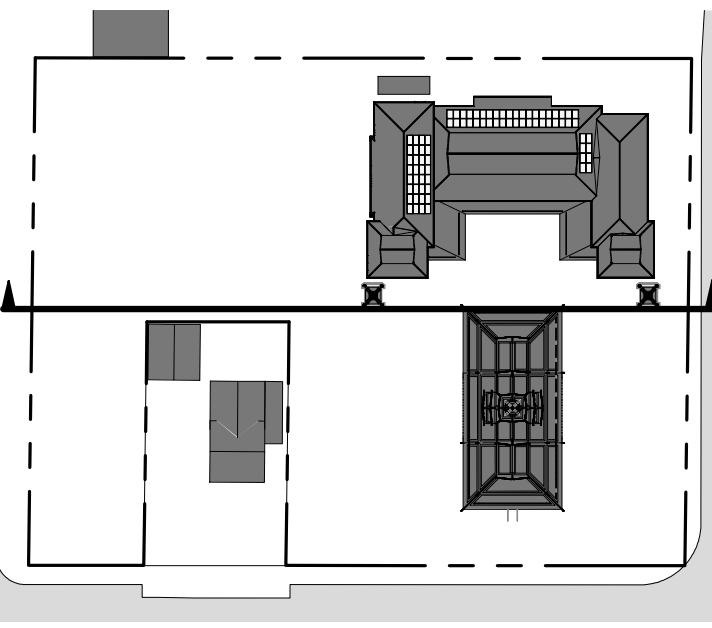
ORIGINAL SHEET ISSUE DATE:
03/26/21

SCALE: DRAWN BY:
AMA

SHEET NUMBER:

A5.1

DATE PRINTED: 02/09/22 12:40 PM

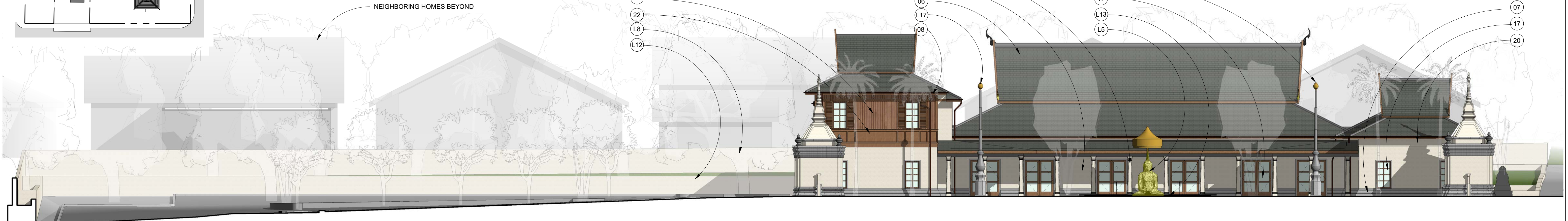


LANDSCAPE KEYNOTES	
L1	CAST STONE SITE WALL, INTEGRAL COLOR, PRECAST BASE
L2	DECORATIVE METAL GATE, PAINTED, PATTERN TO BE DETERMINED
L4	RELIGIOUS SCULPTURE, GILDED AND PAINTED WITH NATURAL STONE BASE, RESTING BUDDHA
L5	RELIGIOUS SCULPTURE, GILDED AND PAINTED WITH NATURAL STONE BASE, SITTING BUDDHA
L6	RELIGIOUS SCULPTURE, GILDED AND PAINTED WITH NATURAL STONE BASE, STUPA
L8	STUCCO PERIMETER SOUND SCREEN

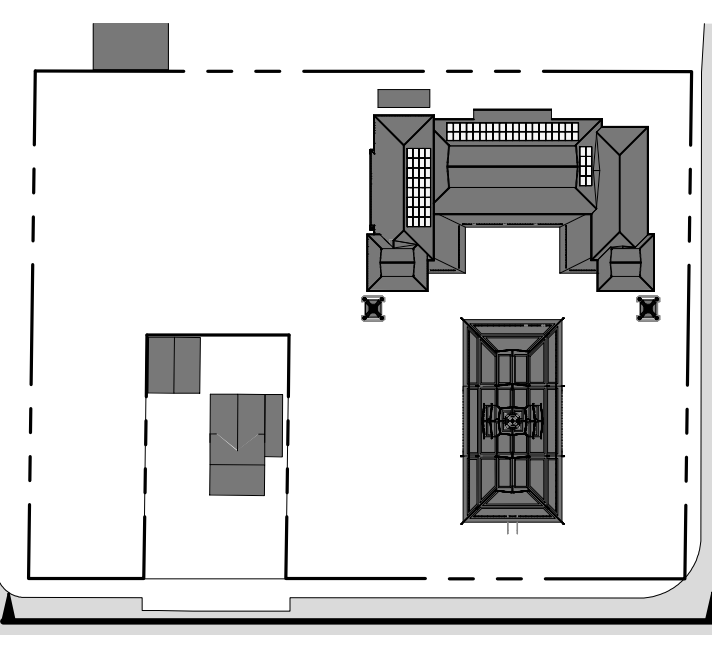
LANDSCAPE KEYNOTES	
L10	RELIGIOUS STAIRWAY GUARDRAIL, CAP, GILDED AND PAINTED
L11	DECORATIVE METAL PARKING ENTRANCE GATE, PATTERN TO BE DETERMINED
L12	PAINTED PLASTER RETAINING WALL
L13	NATURAL STONE REFLECTING POOL
L17	RELIGIOUS SCULPTURE, GILDED AND PAINTED WITH NATURAL STONE BASE AND FLAG
L18	PAINTED METAL HANDRAIL

ARCHITECTURE MATERIAL KEYNOTES	
04	PAINTED CEMENT PLASTER WALLS, LIGHT GRAY
05	GLAZED CERAMIC ROOF TILES, RED, GREEN, & GRAY
06	GLAZED CERAMIC ROOF TILES, GRAY
07	STONE MARBLE BASE
08	WOOD FASCIA & EAVE, NATURAL FINISH, COPPER GUTTERS
09	PLASTER & WOOD ORNAMENTAL CARVED GABLE PANEL, PAINTED & GILDED
10	FINIAL AT ROOF GABLES & RIDGE PEAKS, GILDED WOOD
12	PAINTED CEMENT PLASTER BASE AT SPIRE, GRAY
13	METAL-CLAD & GILDED ORNAMENTAL FINIAL

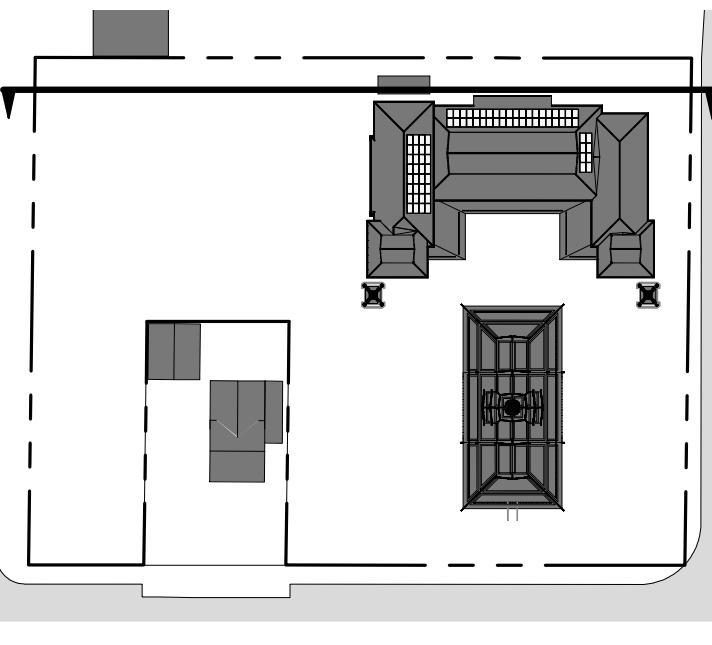
ARCHITECTURE MATERIAL KEYNOTES	
14	VERTICAL WOOD SIDING, NATURAL FINISH
15	METAL MECHANICAL GRILLE, PAINTED TO MATCH WALL COLOR, SEE MECH DWGS
16	PAINTED PLASTER COLUMN WITH STONE BASE
17	WOOD WINDOW OR DOOR WITH DIVIDED LITES, WOOD FALSE SHUTTERS WHERE SHOWN, NATURAL FINISH
20	PAINTED WOOD FRIEZE BAND, GRAY
22	ORNAMENTAL WOOD PANELS, NATURAL FINISH
23	WOOD DOOR, PAINTED FINISH
24	SOLAR PANELS
25	DECORATIVELY PAINTED FASCIA AND EAVE



3 COMMUNITY HALL WEST MATERIAL ELEVATION
SCALE: 3/32" = 1'-0"



2 WEST MATERIAL ELEVATION - VIEW FROM RUBY AVENUE
SCALE: 3/32" = 1'-0"



1 EAST MATERIAL ELEVATION
SCALE: 3/32" = 1'-0"

REV	ISSUED FOR	DATE
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REV 3 SUP		02/09/22

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SHEET TITLE:
BUILDING MATERIAL ELEVATIONS

ORIGINAL SHEET ISSUE DATE:
01/07/20

SCALE: As indicated
DRAWN BY: AMA

SHEET NUMBER:
A6.0

LANDSCAPE KEYNOTES	
L1	CAST STONE SITE WALL, INTEGRAL COLOR, PRECAST BASE
L2	DECORATIVE METAL GATE, PAINTED, PATTERN TO BE DETERMINED
L5	RELIGIOUS SCULPTURE, GILDED AND PAINTED WITH NATURAL STONE BASE, SITTING BUDDHA
L6	RELIGIOUS SCULPTURE, GILDED AND PAINTED WITH NATURAL STONE BASE, STUPA
L7	RELIGIOUS SCULPTURE, CARVED NATURAL STONE, LION
L8	STUCCO PERIMETER SOUND SCREEN
L9	NATURAL STONE STAIR TREADS AND RISERS
L10	RELIGIOUS STAIRWAY GUARDRAIL CAP, GILDED AND PAINTED
L12	PAINTED PLASTER RETAINING WALL
L13	NATURAL STONE REFLECTING POOL
L14	STONE BENCH
L15	TRASH ENCLOSURE, STUCCO WALL WITH PAINTED WOOD PANELS AND METAL GATE
L17	RELIGIOUS SCULPTURE, GILDED AND PAINTED WITH NATURAL STONE BASE AND FLAG
L18	PAINTED METAL HANDRAIL

ARCHITECTURE MATERIAL KEYNOTES	
04	PAINTED CEMENT PLASTER WALLS, LIGHT GRAY
05	GLAZED CERAMIC ROOF TILES, RED, GREEN, & GRAY
06	GLAZED CERAMIC ROOF TILES, GRAY
07	STONE MARBLE BASE
08	WOOD FASCIA & EAVE, NATURAL FINISH, COPPER GUTTERS
09	PLASTER & WOOD ORNAMENTAL CARVED GABLE PANEL, PAINTED & GILDED
10	FINIAL AT ROOF GABLES & RIDGE PEAKS, GILDED WOOD
12	PAINTED CEMENT PLASTER BASE AT SPIRE, GRAY
13	METAL-CLAD & GILDED ORNAMENTAL FINIAL
14	VERTICAL WOOD SIDING, NATURAL FINISH
17	WOOD WINDOW OR DOOR WITH DIVIDED LITES, WOOD FALSE SHUTTERS WHERE SHOWN, NATURAL FINISH

ARCHITECTURE MATERIAL KEYNOTES	
18	WOOD paneled GABLE, NATURAL FINISH
20	PAINTED WOOD FRIEZE BAND, GRAY
21	PAINTED CEMENT PLASTER ENTRY GATE WITH CARVED STONE BASE, MOLDINGS, AND FINIAL
22	ORNAMENTAL WOOD PANELS, NATURAL FINISH
24	SOLAR PANELS
25	DECORATIVELY PAINTED FASCIA AND EAVE

REV	ISSUED FOR	DATE
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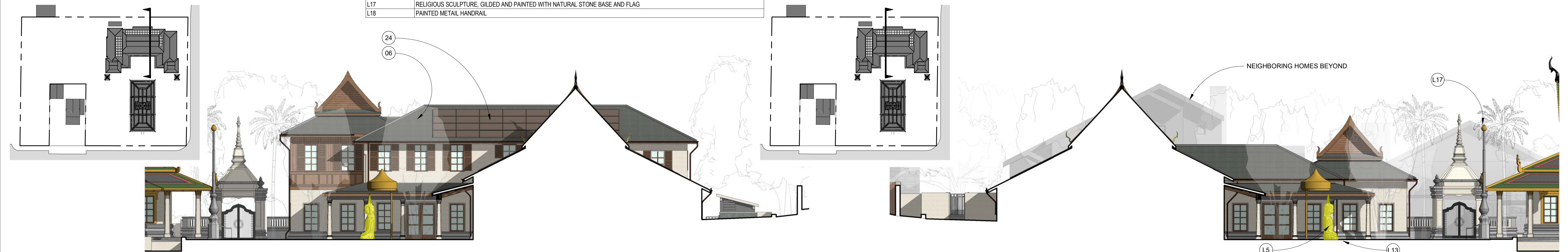
SHEET TITLE:
BUILDING MATERIAL ELEVATIONS

ORIGINAL SHEET ISSUE DATE:
 01/07/20

SCALE:
 As indicated

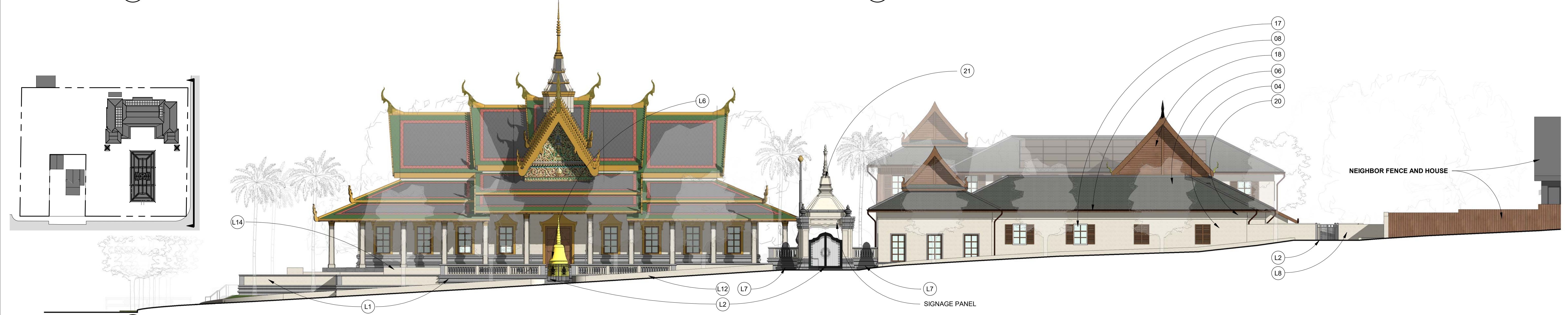
DRAWN BY:
 AMA

SHEET NUMBER:
A6.1



4 NORTH MATERIAL ELEVATION - CENTRAL COURTYARD
 A6.1 SCALE: 3/32" = 1'-0"

3 SOUTH MATERIAL ELEVATION - CENTRAL COURTYARD
 A6.1 SCALE: 3/32" = 1'-0"



2 SOUTH MATERIAL ELEVATION - VIEW FROM NORWOOD AVENUE
 A6.1 SCALE: 3/32" = 1'-0"



1 NORTH MATERIAL ELEVATION - VIEW FROM PARKING LOT
 A6.1 SCALE: 3/32" = 1'-0"



01 DECORATIVE COLUMN WITH GILDED CAPITAL & STONE BASE



02 PAINTED PLASTER & WOOD DECORATIVE SURROUND



03 WOOD PAINTED WINDOW; GRAY SURROUND



04 PAINTED CEMENT PLASTER WALLS; LIGHT GRAY



05 GLAZED CERAMIC ROOF TILES; RED, GREEN, GRAY



06 GLAZED CERAMIC ROOF TILES, GRAY



07 STONE MARBLE BASE



08 PAINTED WOOD FASCIA & EAVE, COPPER GUTTERS



09 PLASTER & WOOD ORNAMENTAL CARVED GABLE PANEL, PAINTED & GILDED



10 FINIAL AT ROOF GABLES & RIDGE PEAKS, GILDED WOOD



11 DECORATIVE WOOD BARGE BOARD AT ROOF TIERS, ADORNED WITH FINIALS, PAINTED & GILDED



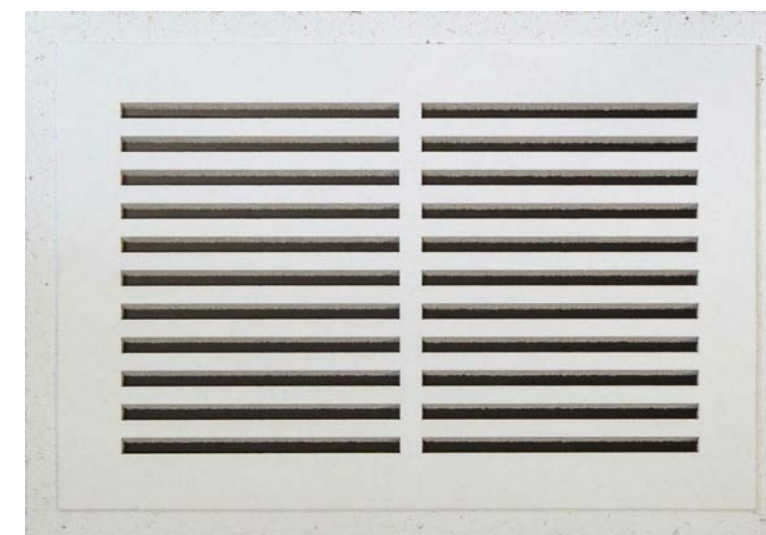
12 PAINTED CEMENT PLASTER BASE AT SPIRE; GRAY



13 METAL-CLAD & GILDED TEMPLE SPIRE



14 VERTICAL WOOD SIDING; NATURAL FINISH



15 DECORATIVE METAL MECHANICAL GRILLE, PAINTED TO MATCH WALL COLOR



16 PAINTED PLASTER COLUMN WITH STONE BASE



17 WOOD WINDOW OR DOOR WITH DIVIDED LITES, WOOD SHUTTERS WHERE SHOWN, NATURAL FINISH



18 WOOD PANELED GABLE; NATURAL FINISH



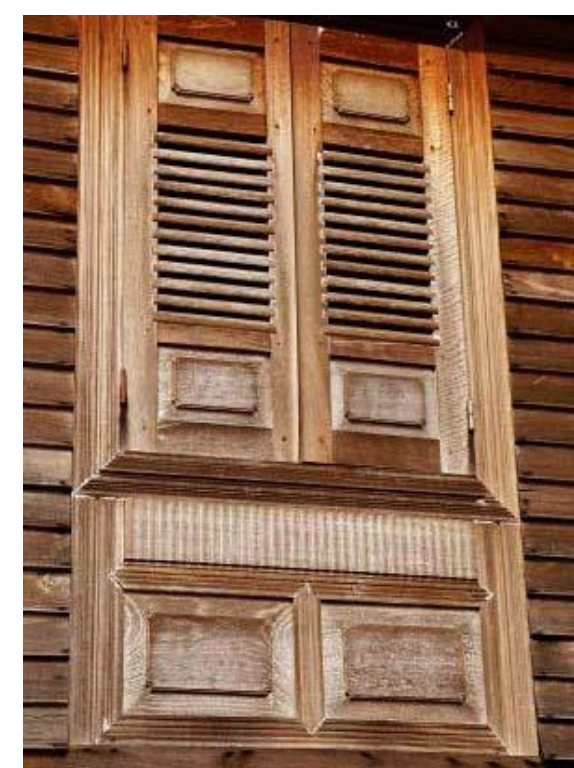
19 DECORATIVELY PAINTED WOOD DOOR



20 PAINTED WOOD FRIEZE BAND; GRAY



21 CARVED NATURAL STONE ENTRYWAY



22 ORNAMENTAL WOOD PANELS; NATURAL FINISH



23 WOOD DOOR, NATURAL FINISH



24 SOLAR PANELS



25 DECORATIVELY PAINTED FASCIA AND EAVE

KEY

TEXT DESCRIPTION

MATERIAL DESCRIPTION

KEYNOTE TAG, REFER A6.0 & A6.1 FOR MATERIAL LOCATIONS

REV	ISSUED FOR	DATE
REV 1 SUP		03/26/21
REV 2 SUP		10/19/21
REV 3 SUP		02/09/22

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SHEET TITLE:
ENLARGED BUILDING MATERIALS KEY

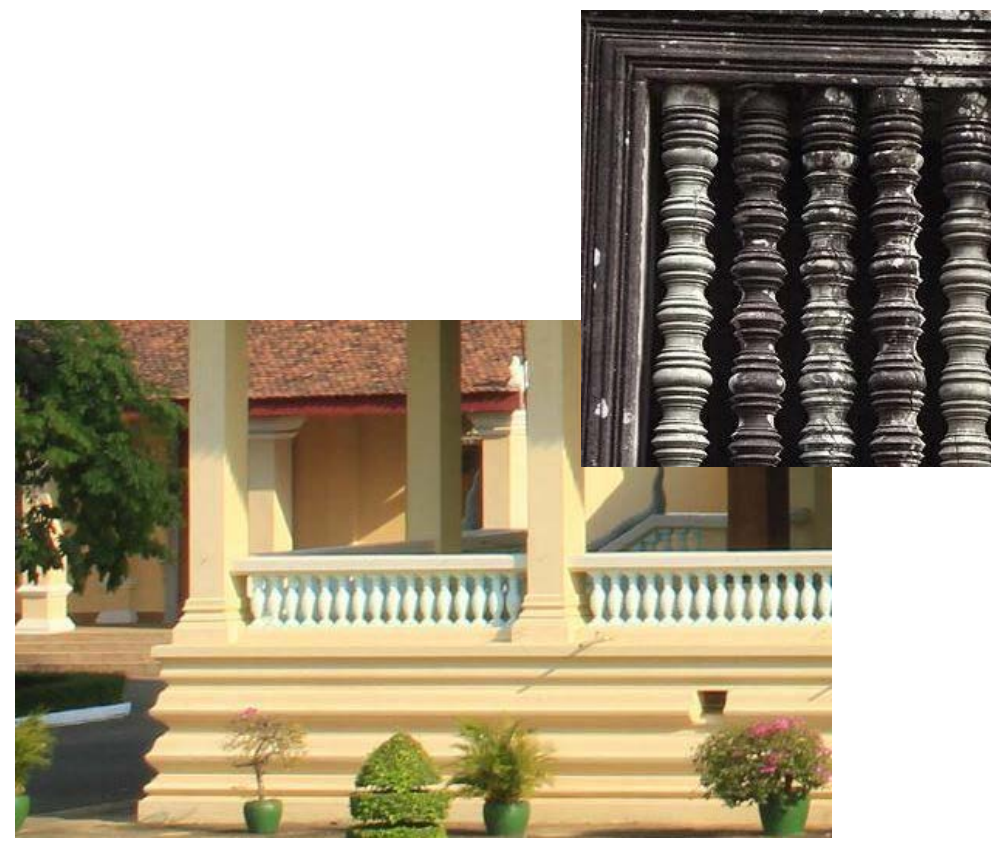
ORIGINAL SHEET ISSUE DATE:
03/26/21

SCALE:
12" = 1'-0"

DRAWN BY:
AMA

SHEET NUMBER:

A6.2



L1 CAST STONE SITE WALL, INTEGRAL COLOR, PRECAST BASE



L2 DECORATIVE METAL GATE, PAINTED. PATTERN TO BE DETERMINED



L3 PAINTED METAL GUARDRAIL



L4 RELIGIOUS SCULPTURE, GILDED & PAINTED WITH NATURAL STONE BASE: RESTING BUDDHA



L5 RELIGIOUS SCULPTURE, GILDED & PAINTED WITH NATURAL STONE BASE: SITTING BUDDHA



L6 RELIGIOUS SCULPTURE, GILDED & PAINTED WITH NATURAL STONE BASE: STUPA



L7 RELIGIOUS SCULPTURE, CARVED NATURAL STONE: LION



L8 STUCCO PERIMETER SOUND SCREEN



L9 NATURAL STONE STAIR TREADS AND RISERS



L10 RELIGIOUS STAIRWAY GUARDRAIL CAP, GILDED & PAINTED



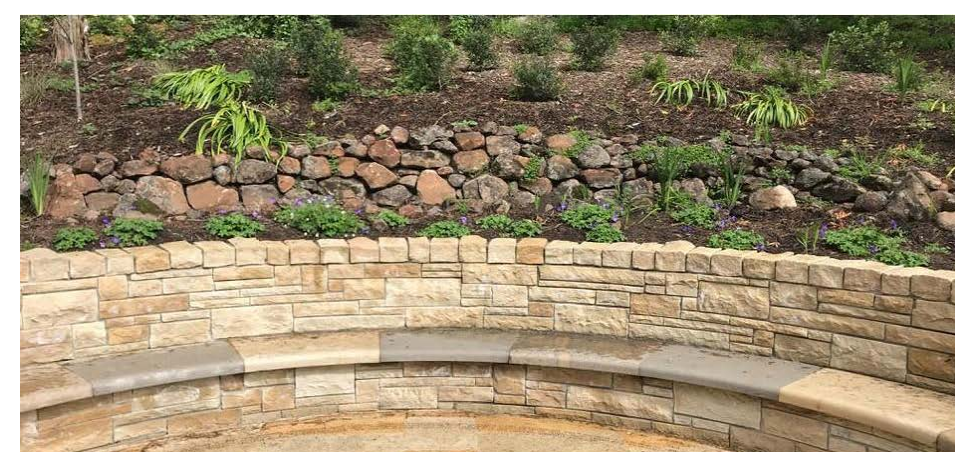
L11 DECORATIVE METAL PARKING ENTRANCE GATE. PATTERN TO BE DETERMINED



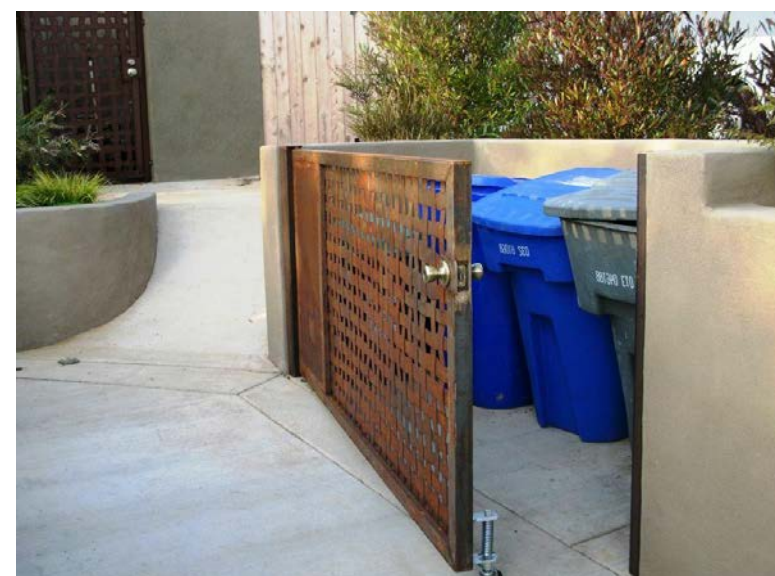
L12 PAINTED PLASTER RETAINING WALL



L13 NATURAL STONE REFLECTING POOL



L14 STONE BENCH



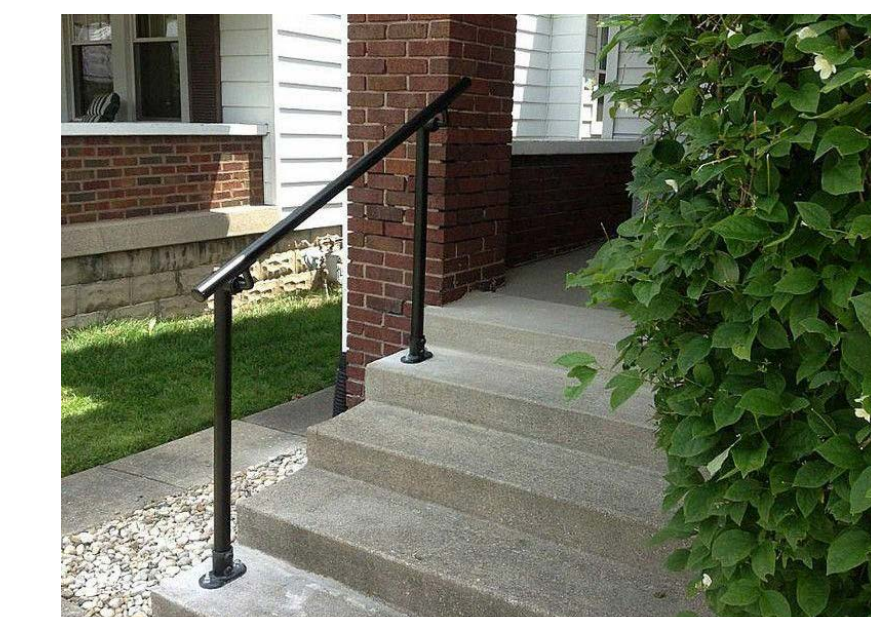
L15 TRASH ENCLOSURE; STUCCO WALL WITH METAL GATE



L16 CARVED NATURAL STONE RELIGIOUS SCULPTURE



L17 RELIGIOUS SCULPTURE, GILDED AND PAINTED WITH NATURAL STONE BASE AND FLAG



L18 PAINTED METAL HANDRAIL

NOTE: SEE LANDSCAPE ARCHITECTURE DRAWINGS FOR ADDITIONAL DETAILS

KEY	
##	TEXT DESCRIPTION
—	MATERIAL DESCRIPTION
—	KEYNOTE TAG, REFER A6.0 & A6.1 FOR MATERIAL LOCATIONS

REV	ISSUED FOR	DATE
REV 1	SUP	03/26/21
REV 2	SUP	10/19/21
REV 3	SUP	02/09/22

NOT FOR CONSTRUCTION



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SHEET TITLE:
ENLARGED LANDSCAPE MATERIALS KEY

ORIGINAL SHEET ISSUE DATE:
 03/26/21

SCALE: 12" = 1'-0"
 DRAWN BY: AMA

SHEET NUMBER:

A6.3