TREANORHL

FOUNTAIN ALLEY OFFICE PROJECT, SAN JOSE, CALIFORNIA

DESIGN GUIDELINES AND STANDARDS COMPLIANCE REVIEW

April 08, 2022

Westbank Corporation

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1. INTRODUCTION

As part of the environmental evaluation for the proposed mixed-use San Jose Fountain Alley project, David J. Powers & Associates, Inc. has requested TreanorHL to evaluate the proposed design in downtown San Jose. The project involves a paved parking lot (467-22-121) within the boundaries of the San Jose Downtown Commercial Historic District which is listed on the National Register of Historic Places (NRHP). The following report includes a compliance review of the proposed project design as related to nearby or associated historic resources. The project site is within the General Plan Downtown Growth Area and the Downtown Core and is near several historic resources. This report includes a compliance analysis to the Secretary of the Interior's Standards for Rehabilitation (the Standards), and an evaluation of the proposed design for compliance to the Downtown San José Historic District Guidelines (2003), and the San José Downtown Design Guidelines and Standards (2019, updated 2020). The design assessment and compliance analysis are provided in order to inform the environmental process and determine if the proposed project would result in a substantial adverse change in the significance of or cause an impact to any historic resources as defined by the California Environmental Quality Act (CEQA) and to ensure compliance with local planning guidelines and regulations relevant to historic resources.

2. SUMMARY OF FINDINGS

As a paved surface parking lot, the project site does not include any buildings, thus there are no built historic resources within the project site. The parcel was identified as a noncontributing site located within the National Register listed San Jose Downtown Commercial Historic District. As such the proposed project would not cause direct impacts to any historic resources within the boundaries of the subject parcel.

Even though the project site does not include any built historic resources, the proposed project entails constructing a new building within the boundaries of the National Register-listed historic district (a historic resource). Typically, a review of a project's conformance with the Standards is undertaken, because a project that is determined to conform with the Standards can be considered to be a project that will not cause a significant impact per CEQA. In this report, the proposed project is assessed for conformance with the Standards to determine if there is an impact per CEQA. In summary, the Standards analysis for the proposed project showed that Standards 1-7 are not applicable to the proposed project. Standard 8 is related to archaeological resources and is beyond the scope of this report. The project does not fully comply with Standard 9 since the building is not compatible with the historic district in terms of features, size, scale, proportion, and massing. The building is only compatible in terms of materials. The proposed project does comply with Standard 10. In conclusion, the proposed project does not fully comply with the Standards.

Since this project does not fully conform with the Standards, TreanorHL subsequently conducted an integrity analysis of the San Jose Downtown Commercial District to assess potential impact to the property's ability to convey its historic significance. To be listed in the NRHP, a property must not only be shown to be significant under the NRHP criteria, but it also must maintain integrity. The historic district and multiple adjacent district contributors could be indirectly affected by the proposed project as a result of the alteration of their immediate surroundings and thereby, potentially to their historic integrity. Although the proposed project would diminish the integrity of design, setting (partial), and feeling (partial) of the historic district, it would retain its overall historic character that qualifies it for listing as a historic resource. The historic district would not be impacted to such an extent that it would no longer be able to convey its significance or lose its eligible for listing on the NRHP. Therefore the impact of the proposed project to the San Jose Downtown Commercial District would be less-than-significant.

The activities related to the physical undertaking of the project would have the potential to physically damage the adjacent historic resources. With implementation of recommended mitigation measures, the potential for project construction-related impacts to the identified historic resources would be reduced to less-than-significant.

The proposed project design does not fully comply with the applicable Downtown San José Historic District Guidelines (2003), particularly with the building height, corner element, massing, facades, rear facades, and setbacks and stepback guidelines. The proposed project also does not fully comply with the applicable *San José Downtown Design Guidelines and Standards* (2019, updated 2020), particularly with standards "a. Height Transition" and "b. Width Transition" of Guideline 4.2.2, and standard "Massing b" of Guideline 4.2.4. The proposed project partially complies with standard "d. Streetwall Continuity" of Guideline 4.2.4 Even though the proposed project partially complies with the local standards and guidelines, the proposed project would not substantially impair the significance and integrity of the adjacent previously identified properties; they would continue to be listed in the San Jose HRI.

3. METHODOLOGY

TreanorHL conducted a site visit in March 2021 to evaluate the existing conditions, historic features, and architectural significance of the project site and the surrounding area. Staff also reviewed the NRHP nomination-inventory forms for the historic district, the proposed project drawings dated November 14, 2020 (Bjarke Ingels Group, *Fountain Alley Plan Set Submitted for Site Development Permit Application),* and relevant documents provided by David J. Powers & Associates.

4. PROPERTY DESCRIPTION

The project site is a rectangular parcel on the west side of S. 2nd Street in downtown San Jose. Located midblock immediately to the south of Fountain Alley on the block bounded by E. Santa Clara Street to the north, S. 2nd Street to the east, E. San Salvador Street to the south, and S. 1st Street to the west, the project site is an asphalt paved parking lot with two temporary sheds. The surrounding area consists of a mix of commercial, institutional, and multi-family residential buildings.

Figure 1. The proposed project site, outlined in red, at 35 S. 2nd Street (Google Earth, imagery date September 2020).

5. PROPOSED PROJECT

The proposed project would construct a mixed-use development comprising of a 21-story high rise (268'-11" at the top of the roof) with four levels of parking below grade, retail and lobbies on the ground floor, ten residential floors, and ten office floors. The building would feature a ten-story "urban room" that starts at grade, a louvered façade wrapping around all floors, green rooms at the office floors, and extensive roof terraces at the top of the building. The building mass is shaped curvilinear at the north and south ends. The louvers feature photovoltaic system, and the roof accommodates a photovoltaic array. The landscape design carries three elements: the ground floor with alley ways, corner paseos, and the "urban room." The walking surfaces are paved with curvilinear bands of brick pavers, interspersed by green islands and water features. Trees, street furniture, and outdoor seating areas complement the storefronts. The residential floors feature a band of balconies separated by planters; the office floors have "green rooms" with operable exterior walls and large trees. The roof terrace hosts extensive landscaping, a running track, and areas for assembly.[1]

6. SIGNIFICANCE SUMMARY

The project site is within the boundaries of the NRHP-listed **San Jose Downtown Commercial Historic District**.[2] The subject parcel is listed as a noncontributing property. The district is located roughly within the area between E. Santa Clara, S. 1st, S. 4th and E. San Fernando streets. It is significant both from historical and architectural perspectives reflecting the emergence of San Jose as an American city, San Jose's boom years as an agricultural center, and the South Bay's first skyscraper construction. It is unique in its broad representation of historic

[1] Excerpted from Bjarke Ingels Group, *Fountain Alley Plan Set Submitted for Site Development Permit Application,* November 14, 2020.
[2] Bonnie Bamburg, *San Jose Downtown Commercial Historic District National Register of Historic Places Inventory – Nomination Form* (August 1980, updated February 1981; included in the National Register on May 26, 1983).

California commercial architecture: "Because the structures included within the district represent a variety of architectural styles found nowhere else within the county, and because of the historical significance of the development of the commercial core of San Jose as can be seen in their various styles, the district deserves to be included on the National Register of Historic Places." The period of significance spans from the 1870s to the early 1940s. The nomination does not list character-defining features but notes that district contributors represent a variety of architectural styles.[3]

The commercial building across the street from the project site at 27-29 Fountain Alley is individually listed on the NRHP.[4] The project site is also adjacent to or across the street from multiple San Jose Designated Historic City Landmarks.[5]

1. Bank of Italy at 8 S. 1st Street
2. Knox-Goodrich Building at 34-36 S. 1st Street
3. El Paseo Court at 40-44 S. 1st Street
4. Rea Block at 56-60 S. 1st Street
5. Letitia Building at 66-72 S. 1st Street
6. Security Building/Ryland Block at 74-86 S. 1st Street
7. Jose Theater at 62-64 S. 2nd Street
8. New Century Block at 52-78 E. Santa Clara Street
9. Fountain Alley Building at 27-29 Fountain Alley

[3] Bamburg, *San Jose Downtown Commercial Historic District;* City of San Jose, "Downtown Commercial National Register District," https://www.sanjoseca.gov/your-government/departments/planning-building-code-enforcement/planning-division/historic-preservation/historic-districts-areas/downtown-commercial-national-register-dist (accessed May 27, 2020).
[4] Urban/Rural Conservation, *National Register of Historic Places Inventory-Nomination Form, 27-29 Fountain Alley* (May 1980).
[5] *San Jose Designated Historic City Landmarks,* 2/8/2016, https://www.sanjoseca.gov/home/showpublisheddocument?id=24023 (accessed March 23, 2021).

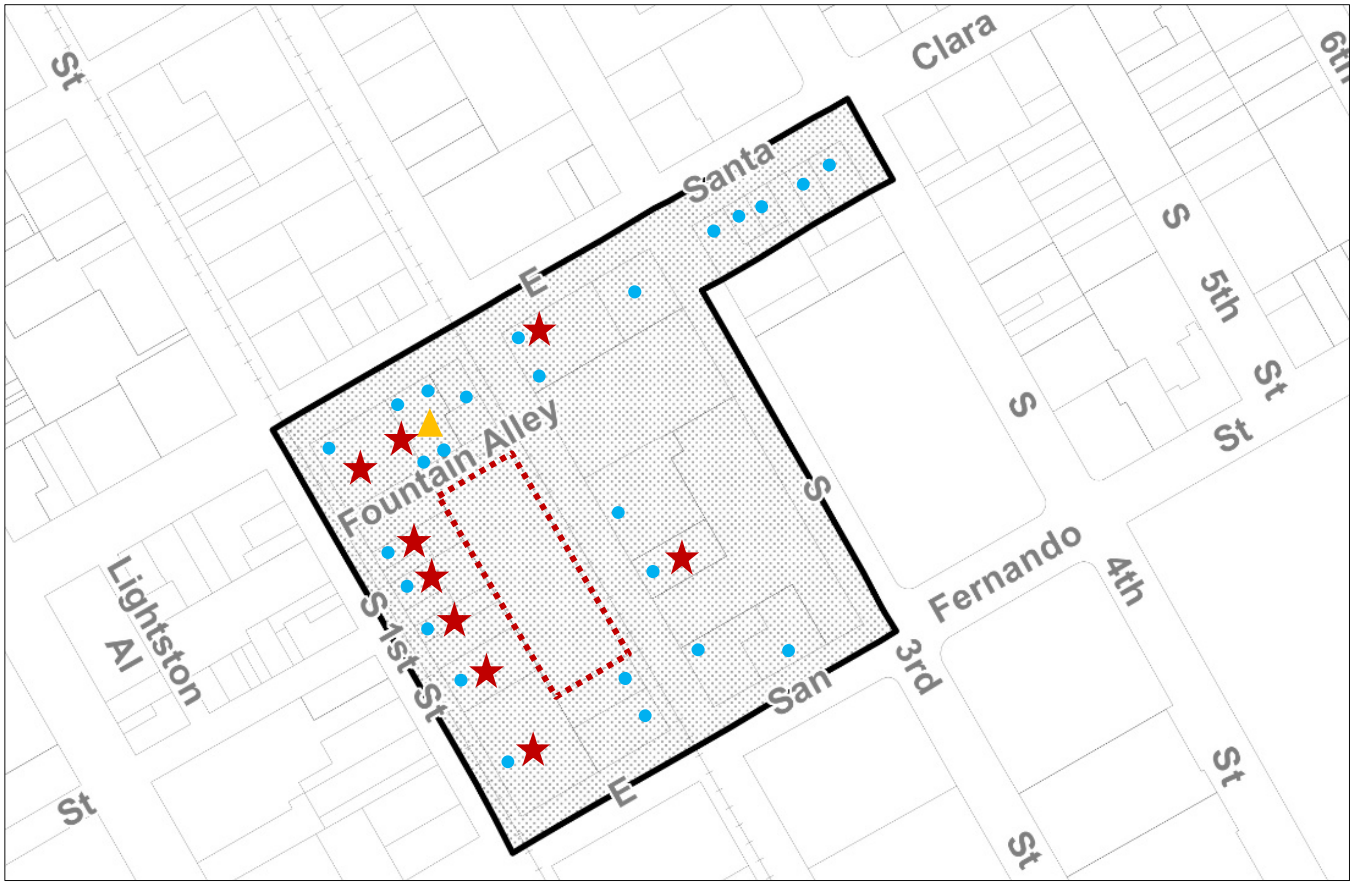


Figure 2. Map of the San Jose Downtown Commercial Historic District; the projects site is outlined in red (City of San Jose). The extant NRHP district contributors are marked with a blue dot, the designated City Landmarks within 100 feet of the project site by a red star, and the individually NRHP-listed 27-29 Fountain Alley by a yellow triangle. See Figure 6 for San Jose HRI-listed properties.

7. REGULATORY FRAMEWORK

The regulatory background provided below offers an overview of state, and local regulations used to assess the proposed project.

California Environmental Quality Act

For the purposes of the CEQA (Guidelines Section 15064.5), the term "historical resources" shall include the following:

1. A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in, the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4850 et.seq.).
2. A resource included in a local register of historical resources, as defined in Section 5020.1(k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements of Section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.
3. Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines

to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California, may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing in the CRHR (Public Resources Code Section 5024.1, Title 14 CCR, Section 4800.3) as follows:

A. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;

B. Is associated with the lives of persons important in our past;

C. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or

D. Has yielded, or may be likely to yield, information important in prehistory or history. (Guidelines for the California Environmental Quality Act)

When a proposed project may adversely affect a historical resource, the CEQA requires a city or county to carefully consider the possible impacts before proceeding (Public Resources Code Sections 21084 and 21084.1).

Local Planning Regulations

This section provides a design analysis using the standards detailed in the *Downtown San José Historic District Guidelines* (2003 Guidelines) and the *San José Downtown Design Guidelines and Standards* (2019, updated 2020). The San José City Council has adopted guidelines prepared by the Planning Division to assist with the design, construction, review and approval of development in San José. These guidelines provide the minimum design standards to be applied to various developments and land uses and serve to facilitate a consistent and efficient review process of proposed developments.[6]

The *Downtown San José Historic District Guidelines* (2003 Guidelines) aims to retain and enhance the character-defining features of the historic district. The design guidelines for the Downtown San Jose Historic District consist of two main sections—a first section that addresses infill construction and a second that addresses rehabilitation and adaptive use of existing historic structures. The guidelines for infill construction intend to achieve two interrelated goals: compatibility with character-defining features of the historic resource and development that enriches the historic district and "adds to life on the street, with quality of design, materials and finishes clearly befitting the downtown core of a major American city."[7]

San Jose Downtown Design Guidelines and Standards (2019, updated 2020) provide guidance for the form and design of buildings in Downtown, their appearance in the larger cityscape, and their interface with the pedestrian level. The guidelines apply generally to the General Plan Downtown Growth Area and the Diridon Station Area Plan Area; generally bounded in the south by Highway 280, on the north by Coleman Avenue, on the west by Diridon Station, and on the east by San José State University (SJSU). While the SJSU campus is not within the boundary of the Downtown Growth Area, it is included within the proposed Design Guidelines boundary since it contributes significantly to the vitality of downtown.[8] The Design Guidelines also set rules for

[6] City of San Jose, "Design Guidelines," https://www.sanjoseca.gov/your-government/departments/planning-building-code-enforcement/planning-division/start-a-new-project-or-use/design-guidelines (accessed September 3, 2020).
[7] *Downtown San Jose Historic District Design Guidelines* (approved by San Jose City Council November 4, 2003), 2 and 24.
[8] City of San Jose, *San Jose Downtown Design Guidelines and Standards* (adopted April 23, 2019, amended May 21, 2019, Planning Director's update May 1, 2020), 2-3.

new buildings and external alterations to non-historic buildings being built near and adjacent to historic and other key structures within the Design Guidelines boundary.

8. PROJECT ASSESSMENT

CEQA

When a proposed project may adversely affect a historical resource, CEQA requires a city or county to carefully consider the possible impacts before proceeding (Public Resources Code Sections 21084 and 21084.1). CEQA equates a substantial adverse change in the significance of a historical resource with a significant effect on the environment (Section 21084.1). CEQA explicitly prohibits the use of a categorical exemption within the CEQA Guidelines for projects which may cause such a change (Section 21084).

A "substantial adverse change" is defined as "physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired." Further, that the "significance of an historic resource is materially impaired when a project "demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for inclusion in the California Register of Historical Resources;" or "demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources..." or demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA."

Secretary of the Interior's Standards

The project site does not include any built historic resources; however, the proposed project entails constructing a new building within the boundaries of the National Register-listed San Jose Downtown Commercial Historic District (a historic resource). A review of project conformance with the Standards was undertaken, because a project that has been determined to conform with the Standards can generally be considered to be a project that will not cause a significant impact (14 CCR Section 15126.4(b)(1)). Standards 1-7 address work proposed on historic resources themselves and are not applicable to the proposed project since it does not propose any direct alterations or additions to any built historic resources within the project site. Standard 8 is related to archaeological resources and is beyond the scope of this report. As a new construction within a designated historic district, the proposed project should be designed to be compatible with the overall historic character of the area. Only two of the Standards (9 and 10) are relevant in the evaluation of historic district. A review of the project for compliance with Standards 9 and 10 is presented below.

> *9. New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*
>
> Analysis. The proposed project is on a noncontributing property within the district which consists of a paved parking lot created in the 1960s; therefore, it will not destroy any historic buildings, materials or features that characterize the historic district. The proposed project will be contemporary in design and clearly differentiated from the contributing historic resources within the historic district.
>
> The historic district contributors exhibit a diverse collection of building materials including stucco, masonry, metals and ironwork, glass, and wood. The proposed building primarily uses curtain wall glazing system with

terracotta louvers, aluminum fascia panels, and brick, materials which will be compatible with the historic district.

The proposed design does not include or incorporate any false-historic features. Like much of the surrounding district, the proposed project includes flat roofs. The ground floor elevations feature brick bulkheads, recessed entries for the lobbies, and large, glazed openings that reference the traditional transparent storefronts of the district. A contemporary interpretation of a cornice is provided by louvers. The new building features a curtain wall glazing system heavily shaded by continuous louvers, it does not include punched openings typical of the historic district. Overall, the new building's features are not fully compatible with the characteristic architectural features of the historic district.

The proposed building will not be compatible with the historic district in terms of size, scale, proportion, and massing. The historic district features one- to three-story commercial buildings except for the Bank of Italy tower. The proposed project entails constructing a 21-story mixed-use building with a large footprint and a height of 268'-11" measured to the top of the roof. The district contributors often have rectilinear footprints and occupy the entire width of their lots creating continuous street walls. The proposed building mass is curvilinear in shape at the north and south ends. Also, the proposed building is set back from the west and south property lines and does not step down in height at the front, rear, or sides. Divided in two sections by a 10-story tall central courtyard, referred to as the "urban room," the building does not appear as monolithic at the pedestrian level on S. 2nd Street. The northern and southern sections have curvilinear footprints and respectively 70-foot- and 100-foot-wide street frontage at the property line. The primary elevations are not broken up into elements that are consistent with the scale of the adjacent historic buildings. If approached from E. Santa Clara or Post streets, the building stands as a massive addition overwhelming the district contributors. The overall height, massing, proportion, and scale of the proposed development are far greater than those characteristics of the historic district.

In conclusion, the proposed project does not comply with Standard 9.

Figures 2 and 3. Looking east from Post Street, left, and looking south from E. Santa Clara Street, right (Bjarke Ingels Group).

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Analysis. The proposed project will add a 21-story free-standing tower at 35 S. 2nd Street on a noncontributing parcel within the historic district. The essential form of the historic district and its

environment would be unimpaired if the tower is removed in the future. The future removal of the new construction would aid in restoring the integrity of the historic resource and its environment given that the proposed building is not compatible with the historic resource in terms of features, size, scale, proportion, and massing (see Standard 9 above). Therefore, the proposed project complies with Standard 10.

Summary of Compliance to the Standards

In summary, Standards 1-8 are not applicable to the proposed project. The project does not comply with Standard 9 since the building is not compatible with the historic district in terms of features, size, scale, proportion, and massing. The building is only compatible in terms of materials. The proposed project complies with Standard 10. In conclusion, the proposed project does not comply with the Standards.

A project that has been determined to conform with the Standards can generally be considered to be a project that will not cause a significant impact. Since this project does not fully conform with the Standards, TreanorHL subsequently conducted an integrity analysis of the San Jose Downtown Commercial District to assess possible impacts (see below).

Local Planning Regulations

This section provides a design analysis using the standards detailed in the Downtown San José Historic District Guidelines (2003 Guidelines) and the San José Downtown Design Guidelines and Standards (2019 Guidelines).

Downtown San José Historic District Guidelines (2003)

Since the project site is a noncontributing surface parking lot, design guidelines for infill construction will be used to evaluate the proposed project.

Building Height. *Maximum of four stories above grade, not to exceed 60 feet. Grand stories (floor-to-ceiling heights of 18 to 20 feet) permitted on first and second stories, when called for by use or program requirements. The building height of infill construction that fronts onto Fountain Alley shall not exceed the roofline height of any existing adjacent structure.*

Analysis. The proposed building is 21 stories above grade, reaching 268'-11" at the top of the roof. The new building is significantly taller than what is recommended; therefore, the project does not comply with this guideline.

Corner Element. *At the corners of major intersections, and at the southwest corner of Second Street and Fountain Alley, the use of a corner element can add distinction to a building's architecture and enhance character-defining settings.*

Analysis. The new building is at the corner of 2nd Street and Fountain Alley and the proposed curvilinear building mass does not feature a corner element at the northeast. The project does not comply with this guideline.

Massing. *Massing to be responsive in form and composition to prevailing character of the existing urban setting. At the same time, infill construction with extensive frontage on streets or alleys needs to be segmented into several smaller facades or buildings.*

Analysis. The immediate urban setting predominantly has one- to three-story tall buildings (except for the Bank of Italy tower) with typically rectangular or L-shaped footprints, that are built out to the front lot lines forming continuous street walls. Building widths range from approximately 25 feet to 200 feet depending on the parcel. The proposed building mass is curvilinear in shape at the north and south ends. The S. 2nd Street

frontage is interrupted by the proposed urban room, a 10-story high passageway, dividing the street frontage into two roughly 70-foot-wide and 100-foot-wide segments at the property line. These segments are not further articulated into smaller facades or sections—most of the historic buildings in the district are divided into multiple bays with pilasters. The massing of the proposed building does not respond to the character of the existing urban setting; therefore, the project does not comply with this guideline.

Facades. *Spacing, sizing and rhythm of openings and fenestration are to be compatible with neighboring structures; by contrast, there are to be no blank facades that front onto streets, alleyways, courtyards, light courts or facades of neighboring structures with openings. All facades are to include a base or bulkhead element.*

Analysis. The neighboring structures, especially along S. 2nd Street and Fountain Alley, have large openings (storefronts) on the ground floor and repetitive rectangular or arched punched windows on the upper floors. A continuous glazing system with louvers wraps around the proposed building: even though the transparent ground floor with storefronts is consistent with the surroundings, the upper floors do not feature any punched openings or a repetitive window pattern typical of the district. The proposed building does not have any blank façades. A low brick wall at the storefronts acts as a base or bulkhead element. Overall, the proposed project does not comply with this guideline.

Rear Facades. *To be articulated and punched in a manner compatible with existing adjacent rear facades.*

Analysis. The existing adjacent rear façades often have secondary entrances on the ground floor, and rhythmically placed rectangular or arched punched openings on the upper floors. Absent of ornament, the walls are exposed brick or stucco clad. Some have attached metal stairways. The rear (west) façade of the proposed building has glazed storefronts on the street level with multiple entries, and a wall glazing system on the upper floors. The building features a louvered façade wrapping around all sides forming a band of balconies at the residential floors and "green rooms" at the office floors. As proposed, the new building's rear façade is not compatible with the existing adjacent rear façades; therefore, the project does not comply with this guideline.

Openings. *All windows and doors (with the possible exception of security, fire safety or service doors) are to be transparent and inviting to the passerby; no mirror, tinted, frosted or opaque glazing. All windows at ground level are to include a base or bulkhead element.*

Analysis. All windows and doors except for the parking entrance are vision glass and not mirror, tinted, frosted or opaque glazing. The ground floor storefronts have approximately 1'-3" tall brick bulkheads. As proposed, the project complies with this guideline.

Entries. *Historic storefront entries in the District are well defined and connect the building to the street. New entries should be similarly articulated.*

Analysis. Within the district, the typical storefronts emphasize transparency and have recessed entries, doors with kick plates and wood framing, large display windows, transoms windows, bulkheads, and clerestories. The proposed building features multiple storefronts on all elevations at the ground floor. Three recessed entries for the office and residential lobbies are along S. 2nd Street. The rest of the entries facing north, west, and south are not recessed. Even though the proposed storefronts are not typical of the historic district, they are articulated to reference some features of the historic storefronts such as large windows, glazed double doors with transoms and sometimes with sidelites, terracotta shading fins forming clerestories above, and brick bulkheads. The proposed storefront entries connect the building to S. 2nd Street and Fountain Alley

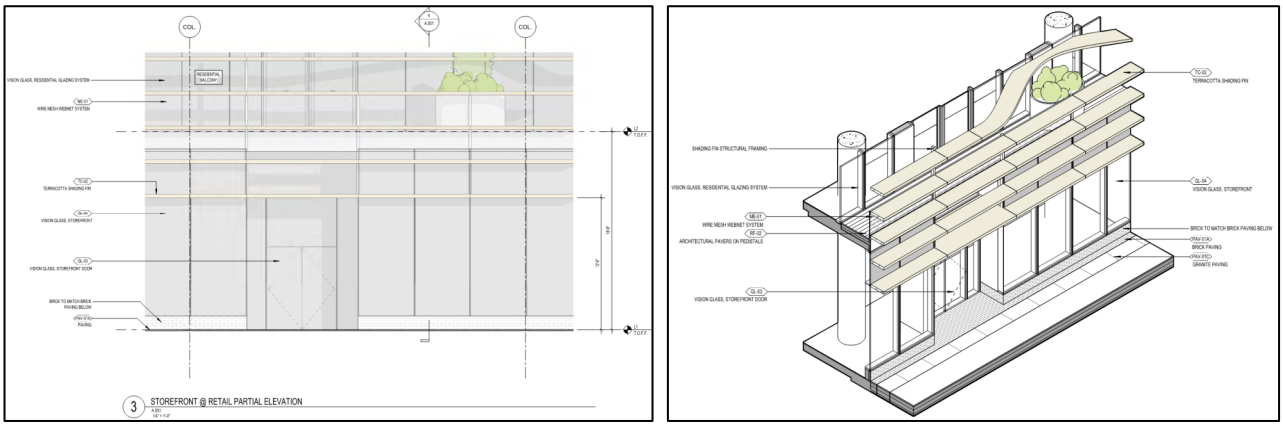
through proposed pedestrian alley ways, corner paseos, and the "urban room." The proposed project is consistent with this design guideline.

Exterior Materials. *Masonry, terra cotta, limestone, plaster, glass mosaic, cast stone, concrete, metal, glass and wood (trim, finishes and ornament only). The use of GFRC (glass fiber reinforced concrete), EIFS (exterior insulating finish surface), unclad concrete, lava rock or used brick is inappropriate, especially within the Downtown Commercial National Register Historic District.*

Analysis. The proposed building would mainly use curtain wall glazing system with terracotta louvers, aluminum fascia panels, and brick cladding and paving; therefore, it complies with this guideline.

Ground Floors. *Classic elements of storefront design are to be the dominant treatment, and all strongly pedestrian-oriented.*

Analysis. The proposed ground floor is strongly pedestrian-oriented and features contemporary interpretations of the typical storefronts in the district featuring recessed entries, brick bulkheads, glazed storefronts, glazed double doors, and transoms/clerestories defined by terracotta louvers. The proposed project is consistent with this design guideline.



Figures 4 and 5. The proposed storefronts (Bjarke Ingels Group).

Setbacks and Stepback. *Not permitted.*

Analysis. The proposed project is at the property line on S. 2nd Street and Fountain Alley sides while it is set back at the rear (west) and south property lines. The new building does not have any stepbacks. Overall, the project does not fully comply with this guideline because of the setbacks at the west and south property lines.

Pedestrian Passageways. *Strongly encouraged, with minimum of one each for infill construction that replaces at-grade, paved parking lots that presently exist as the two large parcels known as APN 467 22 121 and APN 467 22 134; passageways to be "lined" with retail storefronts and/or active display cases.*

Analysis. The proposed building creates a monumental passageway on the subject parcel (APN 467 22 121) with its 10-story tall angled "urban room" in the middle of the building that runs from S. 2nd Street to the rear (west) pedestrian paseo. The proposed project complies with this guideline.

Vehicular Access. *One each for infill construction on APN 467 22 121 and APN 467 22 134.*

Analysis. The proposed project on APN 467-22-121 has one vehicular access on the east façade; therefore, it complies with this guideline.

Parking. *No new surface or visible above-grade parking; valet services to be provided as appropriate or required.*

Analysis. The proposed project does not include any surface or above-level parking; therefore, it complies with this guideline.

Summary 2003 Guidelines

In summary, the proposed project does not fully comply with the applicable 2003 Guidelines, particularly with the building height, corner element, massing, facades, rear facades, and setbacks and stepback guidelines.

San Jose Downtown Design Guidelines and Standards (2019, updated 2020)

Adopted in April 2019 and updated in May 2020, the *City of San Jose Downtown Design Guidelines and Standards* (2019 Guidelines) provides a framework for addressing new construction adjacent to eligible historic resources. The project site is within the boundaries of the National Register-listed San Jose Downtown Commercial Historic District and adjacent to multiple buildings previously identified on the San Jose Historic Resources Inventory (HRI); therefore, it qualifies for "Historic Adjacency" as defined under Guideline 2.3.2. The Bank of Italy building at the northwest corner of the subject block is a Historic Icon Building; however, the project site is not within the "Affected Area" of any Civic Icon Buildings. In this case, applicable guidelines are listed as "4.2.2 Massing Relationship to Context" and "4.2.4 Historic Adjacency." The 2019 Guidelines define historic adjacency as follows:

> A site has Historic Adjacency when any of the these are true:
>
> a. At least 50% of buildings fully or partially within 200 feet are on the San José Historic Resources Inventory (HRI) or are eligible for HRI listing.
> b. The site is within 100 feet of a Designated or Candidate City Landmark or contributor to a district or conservation area.
> c. The site is adjacent to a historic building on the Historic Resources Inventory (HRI) or eligible for HRI listing.
>
> The building(s) within the categories above that cause a new building to have Historic Adjacency are the new building's Historic Context.

The surrounding properties are mapped below. The project site has Historic Adjacency as defined by all sub-categories: (a) approximately 90% of the properties within 200 feet of the project site are on the San Jose HRI, (b) the site is within 100 feet of nine Designated City Landmarks, and (c) it is adjacent to nine historic buildings on the HRI. The designated city landmarks within 100 feet of the project site are listed below.[9]

1. Bank of Italy at 8 S. 1st Street
2. Knox-Goodrich Building at 34-36 S. 1st Street
3. El Paseo Court at 40-44 S. 1st Street
4. Rea Block at 56-60 S. 1st Street
5. Letitia Building at 66-72 S. 1st Street

[9] *San Jose Designated Historic City Landmarks,* 2/8/2016, https://www.sanjoseca.gov/home/showpublisheddocument?id=24023 (accessed March 23, 2021).

6. Security Building/Ryland Block at 74-86 S. 1st Street
7. Jose Theater at 62-64 S. 2nd Street
8. New Century Block at 52-78 E. Santa Clara Street
9. Fountain Alley Building at 27-29 Fountain Alley

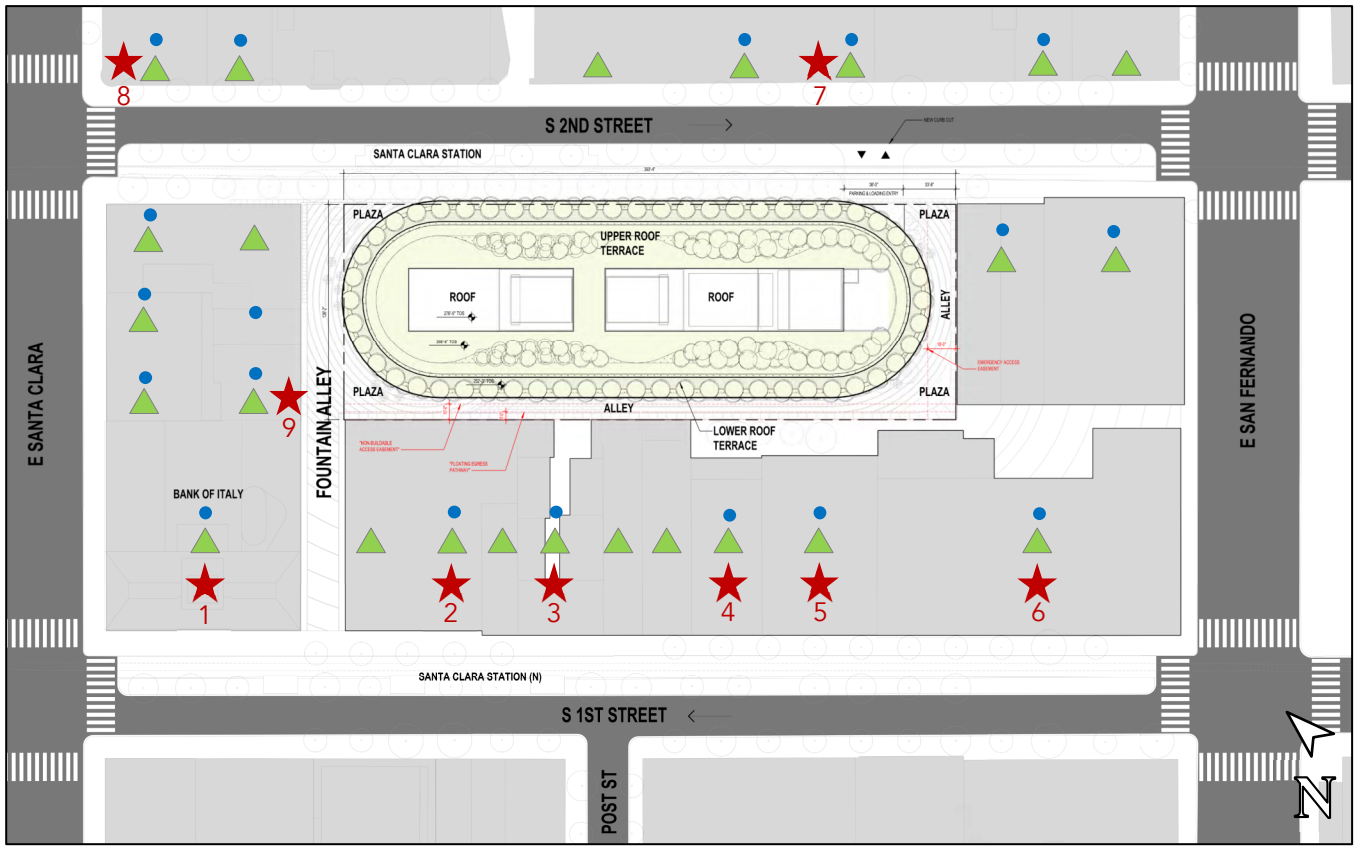


Figure 6. The proposed site plan (edited from Bjarke Ingels Group). The extant district contributors are marked by a blue dot, the designated City Landmarks within 100 feet by a red star, and the buildings listed on the HRI by a green triangle.

4.2.2 Massing Relationship to Context. Create massing transitions between high-rises and lower-scale development.

a) *Height transition: If a new building 100 feet tall or more is across the street from or adjacent to a historic building 45 feet tall or less, the new building must step back its front façade 5 feet minimum from the front parcel or setback line at an elevation between 25 and 50 feet.*

Analysis. The proposed building is 21 stories above grade, reaching 268'-11" at the top of the roof, and is adjacent to or across the street from multiple historic buildings 45 feet tall or less (64 S. 2nd Street, 83 S. 2nd Street, 27-29 Fountain Alley, and 33 Fountain Alley). The new building does not step back from the front parcel line; therefore, it does not comply with this standard.

b) *Width transition: If a new building is across the street from or adjacent to a historic building that is both 45 feet tall or less, and more than 30 feet narrower than the new building, the new building must create gaps in the Podium Level above the ground floor to divide its street-facing massing into segments no more than 30 feet wider than the widest of the applicable historic buildings.*

Analysis. The new building is adjacent to or across the street from multiple historic buildings that are 45 feet tall or less, and more than 30 feet narrower than the new building. (64 S. 2nd Street, 83 S. 2nd Street,

27-29 Fountain Alley, and 33 Fountain Alley). Although the building provides slight gaps at the third floor by undulating louvers and planters, the massing behind is not broken into narrower segments. As proposed, the project does not comply with this standard.

c) *Rear transition. If a new building 100 feet tall or more is across a parcel line or interior to a block from a historic building that is both 45 feet tall or less, the rear portion of the new building must maintain a transitional height of 70 feet or less within the first 20 feet from the property line.*

Analysis. The 268 feet tall new building is across a parcel line or interior to a block from multiple historic buildings that are 45 feet tall or less. The new building does not maintain a transitional height; however, it is set back minimum 20 feet from the rear (west) property line. The building is consistent with this standard.

4.2.4 Historic Adjacency. Incorporate essential urban and architectural characteristics of historic context.

Massing

a) *Relate Podium Level building massing to the scale of Historic Context buildings by breaking a large building into masses of similar scale to Historic Context building.*

Analysis. The proposed building has an 18'-8" tall podium level which relates to the scale of the Historic Context buildings on S. 2nd Street and Fountain Alley. The wide passageway that runs through the building, referred to as "urban room," breaks up the massing into two roughly 140- and 200-foot-wide segments (respectively 70- and 100-foot-wide at the property line) which are similar to masses of the wider Historic Context buildings such as Bank of Italy at 8 S. 1st Street, Security Building at 84 S. 1st Street, and 40 S. 2nd Street. The building is consistent with this standard.

b) *Design buildings with rectilinear rather than curved and diagonal forms* w*here rectilinear forms are typical of the Historic Context buildings.*

Analysis. The building mass is shaped curvilinear at the north and south ends and has undulating louvers wrapping around. The building does not comply with this standard.

c) *Use cornice articulation at the Podium Level at a height comparable to the heights of Historic Context buildings.*

Analysis. The new building does not have a typical cornice articulation but provides a well-defined podium level. At 18'-8", the podium level is comparable to the heights of the Historic Context buildings. The storefront assemblies and glazed curtain walls with brick bulkheads are more transparent than the upper residential floors which are obscured by horizontal louvers placed at every four feet. The new building is consistent with this standard.

d) *Maintain Streetwall Continuity with Historic Context buildings that are on the same side of the same street by placing the street-side facade of a new building within 5 feet of the average Historic Context building Streetwall distance from the front property line.*

Analysis. The Historic Context buildings on the west side of S. 2nd Street are built out to the property line without any setbacks, providing a continuous streetwall. The new building has a curvilinear massing and pedestrian plazas at the north and south ends and an interior paseo dividing the building into two masses; therefore, it does not provide a single continuous streetwall along S. 2nd Street at the pedestrian level. The massing is broken up into two sections both of which provide partial streetwalls at the 2nd Street property line: the northern section has an approximately 70-foot-wide streetwall while the

southern section has an approximately 100-foot-wide streetwall. Because the footprint of the building curves away from the front property line in multiple locations, sections of the east elevation have in effect a significant setback from S. 2nd Street. Just less than ½ of the east 2nd Street elevation at the street level is set back more than 5 feet from the average Historic Context building streetwall distance. As proposed, the new building is partially compatible with this standard.

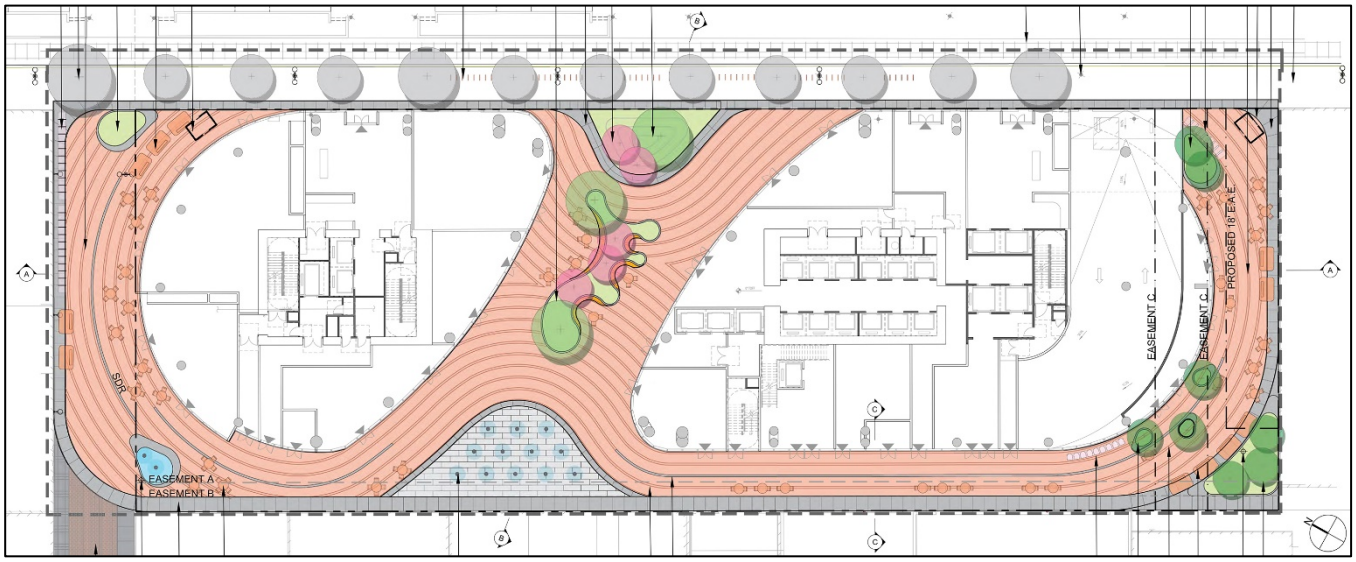


Figure 7. The proposed plan of the street level (edited from Bjarke Ingels Group).

Facade

e) *Use articulation that creates façade divisions with widths similar to Historic Context buildings on the same side of the same block (if the new building is wider).*

Analysis. The widths of the Historic Context buildings facing S. 2nd Street range from approximately 60 feet to 120 feet. At the first 10 levels, the S. 2nd Street (east) façade of the building is divided into two sections by the "urban room." The northern section is approximately 70 feet at the property line and 140 feet overall. The southern section is approximately 100 feet at the property line and 200 feet overall. Since the proposed massing is curvilinear, the articulation of widths at the property line would be the relevant segments to assess per this standard. The 70- and 100-foot divisions at the new building's east façade would be comparable to the overall widths of the Historic Context buildings. Therefore, the proposed project is compatible with this standard.

f) *Do not simulate historic architecture to achieve these guidelines and standards.*

Analysis. The new building is contemporary in design and does not simulate historic architecture.

g) *Place windows on facades visible from the windows of the adjacent Historic Context buildings even if this requires that the façade be set back from the property line.*

Analysis. The proposed building includes storefronts and windows on all exterior walls which are visible from the windows of adjacent Historic Context buildings. Therefore, the proposed project is compatible with this standard.

Elements

h) *Use some building materials that respond to Historic Context building materials.*

Analysis. The Historic Context buildings exhibit a diverse collection of building materials including stucco, masonry, metals and ironwork, glass, and wood. The proposed building primarily uses curtain wall glazing system with terracotta louvers, aluminum fascia panels, and brick; therefore, it is compatible with this standard.

i) *The new materials should be compatible with historic materials in scale, proportion, design, finish, texture, and durability.*

Analysis. The new materials appear to be compatible with the historic materials in scale, proportion, design, finish, texture, and durability. The new building is consistent with this standard.

Ground Floor

j) Space pedestrian entries at similar distances to Historic Context building entries.

Analysis. The Historic Context buildings along S. 2nd Street, S. 1st Street, and Fountain Alley often have multiple pedestrian entries located with some of the closest within 20' to 30' of each other. The proposed building has multiple pedestrian entries spaced at similar distances as the Historic Context building entries on each façade for residential and office lobbies as well as commercial spaces; therefore, it is compatible with this standard.

k) Create a ground floor with a similar floor to ceiling height as nearby Historic Context buildings.

Analysis. The nearby Historic Context buildings have tall ground floors housing commercial spaces. At 18'-8", the clearly defined podium level of the new building is similar in height to the Historic Context buildings. As proposed, the project is compatible with this standard.

Summary 2019 Guidelines

In summary, the proposed project does not fully comply with the applicable 2019 Guidelines, particularly with standards "a. Height Transition" and "b. Width Transition" of Guideline 4.2.2, and standard "Massing b" of Guideline 4.2.4. The proposed project partially complies with standard "d. Streetwall Continuity" of Guideline 4.2.4.

9. IMPACTS ANALYSIS

CEQA

Per CEQA, historic resources include properties eligible for listing on the National Register of Historic Places, the California Register of Historical Resources, or a local register of historic resources (as defined in Public Resources Code §5020.1(k)). A project that has been determined to conform with the Standards can generally be considered to be a project that will not cause a significant impact (14 CCR Section 15126.4(b)(1)).
According to Public Resources Code §15064.5(b), a project would have a significant effect on a historic resource if it would "cause a substantial adverse change in the significance" of that resource. Specifically, "[s]ubstantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired."

Impacts to the Project Site

As a paved surface parking lot, the subject parcel does not include any buildings, thus there are no built historic resources within the project site. The parcel was identified as a noncontributor to the National Register listed

historic district. As such, the proposed project would not cause direct impacts to any historic resources and will not have an effect on the project site.

Historic Integrity Impacts of New Construction to the Historic District

A project that has been determined to conform with the Standards can generally be considered to be a project that will not cause a significant impact. Since this project does not fully conform with the Standards, TreanorHL subsequently conducted an integrity analysis of the San Jose Downtown Commercial District to assess possible impacts.

The proposed project entails constructing a 21-story building within a historic district and adjacent to multiple district contributors that could be indirectly affected by the project as a result of the alteration of their immediate surroundings and thereby, potentially to their historic integrity. The National Register defines integrity as the ability of a property to convey its significance. To be listed in the NRHP, a property must not only be shown to be significant under the NRHP criteria, but it also must have sufficient integrity in order to convey its historic significance. To determine if a property retains the physical characteristics corresponding to its historic context, the NRHP has identified seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association.[10]

Integrity is assessed with reference to the particular criteria for which the resource is eligible for listing. In the case of the San Jose Downtown Commercial District, the historic district is significant at the local level under both Criterion A and C. For Criterion A, a property is significant for its historic association with events that have made a significant contribution to the broad patterns of our history. The district is significant as "Santa Clara Valley's mercantile and financial center for the past 100 years […] The district includes sites dating from the 1870s, reflecting the emergence of the American city; sites from the 1890s, reflecting San Jose's boom years as an agricultural center; and sites from the 1920s, reflecting the South Bay Area's first skyscraper construction."[11]

For Criterion C, a property is significant if it embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction.[12] The district is "unique in its broad representation of historic California commercial architecture, unsurpassed in Santa Clara County" from the late 19th and early 20th century.[13]

The steps in assessing integrity in properties are:

- Define the essential physical features that must be present for a property to represent its significance.
- Determine whether the essential physical features are visible enough to convey their significance.
- Determine whether the property needs to be compared with similar properties.
- Determine, based on the significance and essential physical features, which aspects of integrity are particularly vital to the property being nominated and if they are present.

[…]

[10] National Park Service, *How to Apply the National Register Criteria for Evaluation, National Register Bulletin 15* (Washington, DC: United States Department of the Interior, 1997), 44.
[11] Bamburg, "8. Significance," *San Jose Downtown Commercial Historic District National Register of Historic Places Inventory – Nomination Form.*
[12] National Park Service, *How to Apply the National Register Criteria for Evaluation, National Register Bulletin 15* (Washington, DC: United States Department of the Interior, 1997), 17.
[13] Bamburg, "8. Significance," *San Jose Downtown Commercial Historic District National Register of Historic Places Inventory – Nomination Form.*

For a district to retain integrity as a whole, the majority of the components that make up the district's historic character must possess integrity even if they are individually undistinguished. In addition, the relationships among the district's components must be substantially unchanged since the period of significance.

When evaluating the impact of intrusions upon the district's integrity, take into consideration the relative number, size, scale, design, and location of the components that do not contribute to the significance. A district is not eligible if it contains so many alterations or new intrusions that it no longer conveys the sense of a historic environment.

A component of a district cannot contribute to the significance if:

- It has been substantially altered since the period of the district's significance, or
- It does not share the historic associations of the district.[14]

The aspects of integrity, as defined and applied to the proposed alteration within the San Jose Downtown Commercial District, are as follows.[15]

Location *is the place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons.*

The location of the historic district would not change with the proposed project; the historic district would continue to retain integrity of location.

Design *is the combination of elements that create the form, plan, space, structure, and style of a property. […] Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. […] Design can also apply to districts, whether they are important primarily for historic association, architectural value, information potential, or a combination thereof. For districts significant primarily for historic association or architectural value, design concerns more than just the individual buildings or structures located within the boundaries. It also applies to the way in which buildings, sites, or structures are related.*

The historic district has been subject to a number of design alterations since its nomination in 1983, especially with the construction of new buildings on the east side of S. 2nd Street and the west side of S. 3rd Street. Generally, these developments appear compatible with the character-defining features of the district. As discussed above, the proposed project is not compatible with the historic district in terms of architectural features, size, scale, proportion, and massing; therefore, the overall integrity of design would be diminished. According to the National Register Bulletin No. 15, "For districts significant primarily for historic association or architectural value, design concerns more than just the individual buildings or structures located within the boundaries. It also applies to the way in which buildings, sites, or structures are related…" Even though the proposed project includes pedestrian passages and alleys consistent with the surrounding district, the new building would overwhelm the district contributors and disrupt the existing spatial relationship between buildings, and visual rhythms in the streetscape.

[14] National Park Service, *How to Apply the National Register Criteria for Evaluation, National Register Bulletin 15* (Washington, DC: United States Department of the Interior, 1997), 45-46.
[15] Definitions of seven aspects of integrity in italics are excepted from *How to Apply the National Register Criteria for Evaluation, National Register Bulletin 15,* 44-45.

Setting *is the physical environment of a historic property; it refers to the character of the place in which the property played its historical role.*

The setting of the historic district has changed since its listing in 1983. New mixed-use and multi-family residential buildings were constructed on S. 2nd and S. 3rd streets, primarily on vacant lots and/or replacing noncontributing properties. Most of the new buildings are four- to five-story tall, stucco or masonry clad, and have rectilinear footprints with continuous streetwalls. Along S. 3rd Street, the only contributing building that is still standing is the 96 E. Santa Clara Street property. Even though the early 20th century setting of the historic district has been altered over time, the infill construction has often been consistent with the character-defining features of the historic district. Through its greater scale, massing, height, and its location in the middle of the district, the proposed project would alter the setting along S 2nd Street (the middle of the district). However, at the edges of the district along E. Santa Clara, S. 1st, and E. San Fernando streets, at street level, the potential impact of the proposed project would be diminished and arguably the new construction would not be seen at the sidewalk. From this vantage point, the setting of the district would remain. Therefore, the integrity of setting for the district is only partially diminished.

Materials *are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.*

The project is not proposing to alter any existing district contributors. Additionally, it would mainly use curtain wall glazing system with terracotta louvers, aluminum fascia panels, and brick cladding and paving—all of which are compatible with the district. Although not identical to extant original materials, they are compatible with the character of the historic district. The integrity of materials would not be affected.

Workmanship *is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.*

The project is not proposing to alter any existing district contributors; therefore, the integrity of workmanship would not be affected.

Feeling *is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character.*

The San Jose Downtown Commercial District's original design, materials, workmanship, and setting relates to the feeling of commercial life in the late 19th and early 20th centuries. Overall, the feeling of the historic district remains at its edges along E. Santa Clara, S. 1st, and E. San Fernando streets. The general feeling of the district has changed since it was listed in the National Register by the new buildings on S. 2nd and S. 3rd streets. The construction of the proposed building would further impact the feeling and aesthetic sense of the district through its scale, height, and massing, and by its location on S. 2nd Street in the center of the district. The overall integrity of feeling would be partially impaired at S. 2nd Street, but retained at the boundaries on E. Santa Clara, S. 1st, and E. San Fernando streets.

Association *is the direct link between an important historic event or person and a historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's character. […] Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register.*

The San Jose Downtown Commercial District is largely significant for downtown San Jose's commercial development and for its architecture. The proposed development is a contemporary mixed-use project with commercial spaces at the street level, and office and residential uses at the upper floors. The historic district

would continue to retain integrity of association since the overall commercial character of the district would be preserved.

The overall integrity of the historic district would be impaired by the proposed project in conjunction with the already constructed newer developments. This includes material impairment to integrity of design, setting (partial impairment) and feeling (partial impairment). The district would retain integrity of location, materials, workmanship, setting (partial retention), feeling (partial retention) and association.

Overall, although the proposed project would diminish the integrity of design, setting (partial), and feeling (partial), it would retain its overall historic character that qualifies it for listing as a historic resource. Even though the proposed tower is at the physical center of the historic district, it is on a secondary, less prominent street that originally did not contain many district contributors. The more prominent streets of the district are E. Santa Clara and S. 1st streets, both of which have a high concentration of district contributors. The proposed tower would provide a dominant background to some views from E. Santa Clara and Post streets but would not obscure any existing visual connections between the district contributors. Further, the pedestrian experience and understanding of the district contributors would remain intact along the district's predominant streets. The impact of the proposed project to the San Jose Downtown Commercial District would be less-than-significant.

Impacts to Adjacent Historic Resources by Construction-Related Activities

The activities related to the physical undertaking of the project would have the potential to physically damage the adjacent historic resources (district contributors and designated City Landmarks), which could cause a substantial adverse change in the significance of historic resources and therefore require mitigation measures. The proposed project includes construction of a new 21-story building and would also require below-grade excavation and foundation work, new building framing, and possible pile driving. These construction activities may produce ground borne vibrations that would result in potentially significant adverse impacts to the adjacent historic resources. Such impacts could include unintentional damage to or destruction of character-defining features at the historic façades or historic building materials through physical impacts or cracking or damage due to demolition- or construction-related vibrations. With implementation of Mitigation Measures 1a through 1d described below, the potential for project construction-related impacts to the identified historic resources would be reduced to less-than-significant.

Mitigation Measure 1a. If pile-driving is to be included as part of the construction, then the adjacent historic resources should first be surveyed to determine the existing condition. The survey shall be conducted by a historical architect meeting the Secretary of the Interior's Professional Qualifications Standards for Historic Architecture and a structural engineer with a minimum of five years of demonstrated experience with historic buildings. The purpose of the study would be to establish the baseline condition of the buildings prior to construction, including the location and extent of any visible cracks or spalls. The documentation shall take the form of written descriptions and photographs and shall include those physical characteristics of the resources that conveys their historic significance and that justifies their inclusion on the national, state, or local inventories. The documentation shall be reviewed and approved by the City of San Jose's Historic Preservation Officer (HPO), or equivalent.

Mitigation Measure 1b. A qualified geologist, or other professional with expertise in ground vibration and its effect on existing structures, shall prepare a study of the potential of vibrations caused by excavation and construction activities associated with the proposed project. Based on the results of the study, specifications regarding the restriction and monitoring of pile-driving shall be incorporated into the contract. Initial pile-driving shall be monitored and if vibrations are above threshold levels, modifications shall be made to reduce vibrations

to below established levels. A copy of the study, contract specifications, and monitoring reports shall be provided to the City of San Jose's HPO, or equivalent.

Mitigation Measure 1c. Prepare and implement a Historical Resources Protection Plan (HRPP) to protect the historic building fabric of the adjacent historic resources from direct or indirect impacts during construction activities (i.e., due to damage from operation of construction equipment, staging, and material storage). The project sponsor shall, prior to issuance of public works clearance, including any ground-disturbing work, prepare a plan establishing procedures to protect the resources. The project sponsor shall ensure the contractor follows this plan while working near the historic resources.

The plan shall be prepared by a qualified historical architect and is subject to review by the City's HPO. At a minimum, the plan shall include:

- guidelines for operation of construction equipment adjacent to the historic resources,
- means and methods to reduce vibrations from excavation and construction,
- requirements for monitoring and documenting compliance with the plan, and,
- education/training of construction workers about the significance of the adjacent historic resources.

Mitigation Measure 1d. A qualified team (team) of at least one qualified historical architect and one qualified structural engineer shall monitor the mitigation measures.

The adjacent historic resources would be monitored during construction and any changes to existing conditions would be reported, including, but not limited to, expansion of existing cracks, new spalls, or other exterior deterioration. Monitoring reports shall be submitted to the City's HPO, or equivalent on a periodic basis. The structural engineer shall consult with the historical architect, especially if any problems with character defining features of the historic resource are discovered.

If in the opinion of the team, substantial adverse impacts to the historic resource related to construction activities are found during construction, the monitoring team shall so inform the project sponsor, or sponsor's designated representative responsible for construction activities, as well as the City's HPO, or equivalent. The project sponsor shall adhere to the monitoring team's recommendations for corrective measures, including potentially halting construction in situations where construction activities would imminently endanger the historic resources. The project sponsor shall ensure that if repairs occur, in the event of damage to the historic resources during construction, repair work shall comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties and shall restore the character-defining features in a manner that does not affect their historic status.

The team shall prepare a report documenting the site visits. The HPO shall determine the frequency of the reporting period. The team shall submit the site visit reports to the HPO no later than one week after each reporting period. The report shall also include, but is not limited to, the following:

- A summary of the construction progress,
- Substantial adverse impacts related to the construction activities identified during the site visits,
- The problem and potential impact to the historic resources during demolition and construction activities,
- Recommendations made by the team to avoid the impact,
- Actions taken by the project applicant in response to the problem, and,
- Progress on the level of success in meeting the applicable Secretary of the Interior's Standards for the Treatment of Historic Properties for the project as noted above for the character-defining features, and in preserving the character-defining features of the historic resources,

- If applicable, photographs shall be included in reports to better explain and illustrate progress.

In addition, the team shall submit a final document associated with monitoring and repairs after completion of the construction activities to the HPO prior to the issuance of an Occupancy Permit. The document (e.g., with photographs and other appropriate means) shall summarize the level of success in meeting the applicable Secretary of the Interior's Standards for the Treatment of Historic Properties for the project as noted above for the character-defining features, and in preserving the character-defining features of the historic resources.

With implementation of Measures 1a through 1d, the potential for project construction-related impacts to the identified historic resources would be reduced to less-than-significant.

Summary Impacts Analysis

As a paved surface parking lot, the subject parcel does not include any buildings, thus there are no built historic resources within the project site. The parcel was identified as a noncontributing site within the National Register listed San Jose Downtown Commercial Historic District. As such the proposed project would not cause direct impacts to any historic resources and will not have an effect on the project site.

The proposed project was found not to be fully compliant with the Standards and as such the historic district and multiple adjacent district contributors could be indirectly affected by the proposed project as a result of the alteration of their immediate surroundings and thereby, potentially to their historic integrity. Although the proposed project would diminish the integrity of design, setting (partial), and feeling (partial) of the historic district, it would retain its overall historic character that qualifies it for listing as a historic resource. The impact of the proposed project to the San Jose Downtown Commercial District would be less-than-significant.

The activities related to the physical undertaking of the project would have the potential to physically damage the adjacent historic resources. With implementation of recommended mitigation measures, the potential for project construction-related impacts to the identified historic resources would be reduced to less-than-significant.

Local Planning Regulations

The proposed project design is not compliant to the local guidelines and standards. The new building does not comply with the applicable *Downtown San José Historic District Guidelines* (2003) particularly with the building height, corner element, massing, facades, and rear facades guidelines. It also does not fully comply with the applicable *San José Downtown Design Guidelines and Standards* (2019, updated 2020), particularly with standards "a. Height Transition" and "b. Width Transition" of Guideline 4.2.2, and standard "Massing b" of Guideline 4.2.4. Even though the proposed project partially complies with the local standards and guidelines, it would not substantially impair the significance and integrity of the historic district or adjacent previously identified properties; they would continue to be listed on the local, state, and federal inventories.

10. CONCLUSION

As a paved surface parking lot, the subject parcel does not include any buildings, thus there are no built historic resources within the project site. The parcel was identified as a noncontributing site within the National Register listed San Jose Downtown Commercial Historic District. As such the proposed project would not cause direct impacts to any built historic resources within the boundaries of the subject parcel.

Even though the project site does not include any built historic resources, the proposed project entails constructing a new building within the boundaries of the National Register-listed San Jose Downtown

Commercial Historic District (a historic resource). A review of project conformance with the Standards was undertaken, because generally, a project that has been determined to conform with the Standards can be considered to be a project that will not cause a significant impact per CEQA. In summary the Standards analysis for the proposed project showed that Standards 1-7 are not applicable to the proposed project. Standard 8 is related to archaeological resources and is beyond the scope of this report. The project does not comply with Standard 9 since the building is not compatible with the historic district in terms of features, size, scale, proportion, and massing. The building is only compatible in terms of materials. The proposed project does comply with Standard 10. In conclusion, the proposed project does not fully comply with the Standards.
Since this project does not fully conform with the Standards, TreanorHL subsequently conducted an integrity analysis of the San Jose Downtown Commercial District to assess possible impacts. To be listed in the NRHP, a property must not only be shown to be significant under the NRHP criteria, but it also must maintain sufficient integrity in order to convey its historic significance. The historic district and multiple district contributors adjacent to the project site could be indirectly affected by the proposed project as a result of the alteration of their immediate surroundings and thereby, potentially to their historic integrity. Although the proposed project would diminish the integrity of design, setting (partial), and feeling (partial) of the historic district, it would retain its overall historic character that qualifies it for listing as a historic resource. The impact of the proposed project to the San Jose Downtown Commercial Historic District would be less-than-significant.

The activities related to the physical undertaking of the project would have the potential to physically damage the adjacent historic resources. With implementation of recommended mitigation measures, the potential for project construction-related impacts to the identified historic resources would be reduced to less-than-significant.

The proposed project design does not fully comply with the applicable Downtown San José Historic District Guidelines (2003), particularly with the building height, corner element, massing, facades, rear facades, and setbacks and stepback guidelines. The proposed project also does not fully comply with the applicable *San José Downtown Design Guidelines and Standards* (2019, updated 2020), particularly with standards "a. Height Transition" and "b. Width Transition" of Guideline 4.2.2, and standard "Massing b" of Guideline 4.2.4. The proposed project partially complies with standard "d. Streetwall Continuity" of Guideline 4.2.4 Even though the proposed project partially complies with the local standards and guidelines, the proposed project would not substantially impair the significance and integrity of the historic district or adjacent previously identified properties; they would continue to be listed in the San Jose HRI. No impacts have been identified or recommendations made per local standards and guidelines.

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APPENDIX

PROJECT DRAWINGS

FOUNTAIN ALLEY

35 S 2ND STREET
SAN JOSE, CA 95113

PLAN SET SUBMITTED FOR SITE DEVELOPMENT PERMIT APPLICATION

ISSUED NOVEMBER 14, 2020

PROJECT DESCRIPTION

A MIXED-USE DEVELOPMENT ON 2ND AVENUE AND FOUNTAIN ALLEY, ON A 1.25 ACRE (54,332 SF) LOT, COMPRISED 21 STORIES, A ROOF TERRACE, ONE LEVEL OF LOADING BELOW GRADE, AND 4 LEVELS OF PARKING BELOW GRADE. THE LOADING AND PARKING LEVELS WOULD BE ACCESSED FROM 2ND AVENUE ON THE SOUTH SIDE OF THE PARCEL.

THE PROGRAM IS RETAIL AND LOBBIES AT THE GROUND FLOOR, 10 RESIDENTIAL FLOORS WITH 194 ONE AND TWO BEDROOM UNITS ABOVE AND 10 FLOORS OF OFFICE SPACE (314,000 SF) ABOVE.
THE BUILDING FEATURES: A TEN-STORY "URBAN ROOM" THAT STARTS AT GRADE, A LOUVERED FAÇADE WRAPPING AROUND ALL FLOORS, GREEN ROOMS AT THE OFFICE FLOORS, AND EXTENSIVE ROOF TERRACES AT THE TOP OF THE BUILDING.

THE BUILDING MASS IS SHAPED CURVILINEAR AT THE NORTH AND SOUTH ENDS. THE LOUVERS FEATURE PVS, AND THE ROOF ACCOMMODATES A PV ARRAY.

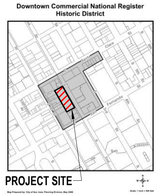
THE LANDSCAPE DESIGN CARRIES THREE ELEMENTS: THE GROUND FLOOR WITH ALLEY WAYS, CORNER PASEOS, AND THE "URBAN ROOM". THE WALKING SURFACES ARE PAVED WITH CURVILINEAR BANDS OF BRICK PAVERS, INTERSPERSED BY GREEN ISLANDS AND WATER FEATURES. TREES, STREET FURNITURE, AND OUTDOOR SEATING AREAS COMPLEMENT THE STOREFRONTS.
THE RESIDENTIAL FLOORS FEATURE A BAND OF BALCONIES SEPARATED BY PLANTERS. THE OFFICE FLOORS HAVE "GREEN ROOMS" WITH OPERABLE EXTERIOR WALLS AND LARGE TREES. THE ROOF TERRACE HOSTS EXTENSIVE LANDSCAPING, A RUNNING TRACK, AND AREAS FOR ASSEMBLY.

ZONING

ZONE: DOWNTOWN PRIMARY COMMERCIAL (DC)

SETBACKS REQUIRED: NONE

HEIGHT LIMIT: DETERMINED BY FEDERAL AVIATION ADMINISTRATION



SITE PLAN INFORMATION

GROSS AREAS

EXISTING USE ON SITE: 0 SF (UN-COVERED PARKING)

PROPOSED:

USE	GROSS FLOOR AREA (SF)*	NET FLOOR AREA (SF)**
OFFICE	405,924	345,036
RESIDENTIAL	303,219	257,736
RETAIL	31,959.0	27,165
TOTAL	741,102	629,937

* PER SAN JOSE BC: " GROOS FLOOR AREA" IS THE TOTAL ENCLOSED AREA OF ALL FLOORS OF A BUILDING MEASURED TO THE INSIDE FACE OF THE EXTERIOR WALL, INCLUDING HALLS, STAIRWAYS, ELEVATOR SHAFTS AT EACH FLOOR LEVEL, SERVICE AND MECAHNICAL EQUIPMENT ROOMS AND BASEMENTS; BUT EXCLUDING AREAS USED EXCLUSIVELY FOR PARKING OR LOADING

** PER SAN JOSE BC: "NET FLOOR AREA" IS CALCULATED AS 85% OF GROSS FLOOR AREA

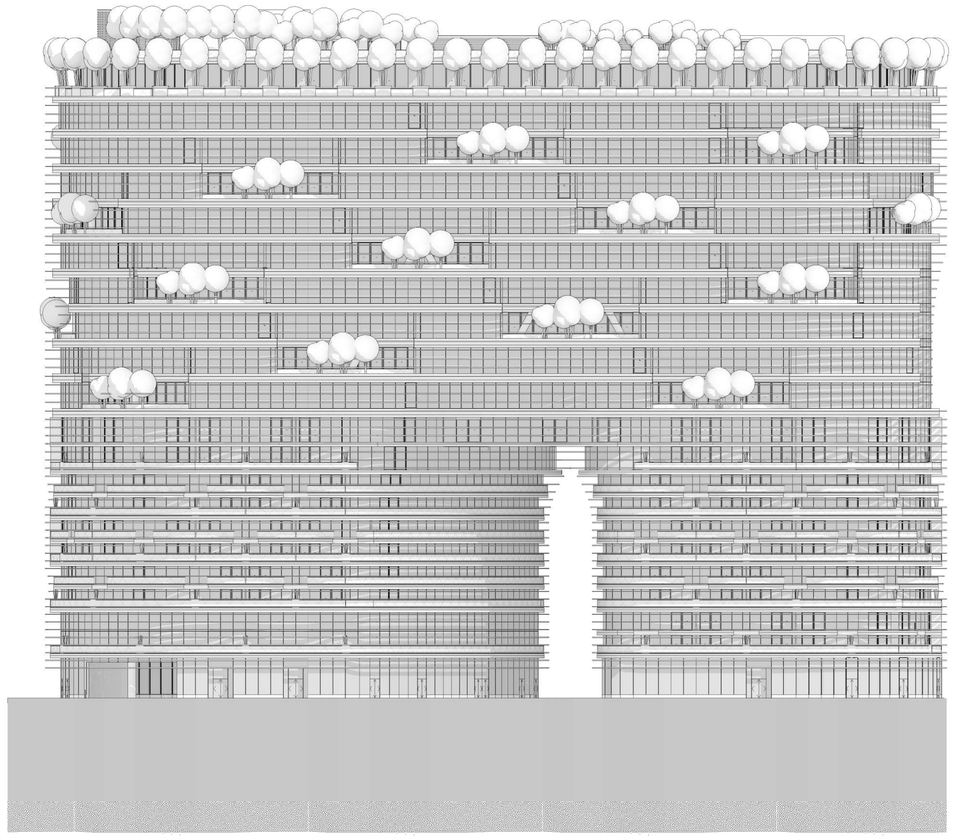
SITE COVERAGE

	AREA (SF)	AREA (ACRES)
PROPERTY AREA	54,333	1.25
BUILDING FOOT PRINT	31,234	
UNCOVERED LANDSCAPE AREA	23,099	
% PROPOSED SITE COVERAGE	57%	

NOTE: BUIDLING FOOTPRINT AREA REFERS TO ABOVE-GRADE FOOTPRINT

PARKING COUNTS: REFER TO A.1B2 -1B4
LOADING BERTH COUNT: REFER TO A.1B1
BICYCLE COUNTS: REFER TO A.1B1 & A.101
UNIT COUNT: REFER TO A.102

SHEET LIST



SAN JOSE FOUNTAIN ALLEY
35 S 2ND STREET
SAN JOSE, CA 95113

CLIENT — **WESTBANK CORPORATION**
600-1067 WEST CORDOVA STREET
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T +1 604 685 8986

ARCHITECT — **BJARKE INGELS GROUP**
61 BROADWAY, SUITE 3300
NEW YORK, NY 10006, USA
T +1 347 549 4141

CIVIL — **KIER & WRIGHT**
3350 SCOTT BLVD BUILDING 22
SANTA CLARA, CA 95054
T +1 408 727 6665

STRUCTURAL — **GLOTMAN SIMPSON CONS. ENG.**
1661 WEST 5TH AVENUE
VANCOUVER, BC V6J 1N5
T +1 604 734 882

MECHANICAL / PLUMBING / FIRE PROTECTION — **TAYLOR ENGINEERING**
1080 MARINA VILLAGE PARKWAY, SUITE 501
ALAMEDA, CA 94501
T +1 510 749 9135

ELECTRICAL — **NEMETZ (S/A) & ASSOCIATES LTD.**
2009 WEST 4TH AVENUE
VANCOUVER, BC V6J 1N3
T +1 604 736 6562

FIRE & LIFE SAFETY — **HOLMES FIRE**
235 MONTGOMERY STREET #1250
SAN FRANCISCO, CA 94104
T +1 415 693 1600

LANDSCAPE ARCHITECT — **BIONIC**
PO BOX 460309
SAN FRANCISCO, CA 94146
T +1 415 206 0648

GEOTECHNICAL — **LANGAN**
1 ALMADEN BLVD, SUITE 590
SAN JOSE, CA 95113
T +1 408 283 3600

TRANSPORTATION — **FEHR & PEERS**
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T +1 408 278 1700

PARKING — **WATRY DESIGN INC.**
SAN JOSE, CA
T +1 408 392 7900

DATE ISSUE

SEAL

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NOT FOR CONSTRUCTION

KEY PLAN

N

BAR SCALE

SHEET NAME

COVER

PROJECT NO **20508**
DOB NO **5050**
SCALE **As indicated**
FORMAT **ARCH D**
DATE **6/1/2020**

SHEET NO **COV**

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BUILDING CODE INFORMATION

BUILDING CODE
2019 CALIFORNIA BUILDING CODE (Vol 1 & 2) (AS CURRENTLY AMENDED), (CBC) PUBLISHED BY THE CALIFORNIA BUILDING STANDARDS COMMISSION (CBSC)

GREEN BUILDING CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN), TITLE 24, PART 11, PUBLISHED BY THE CALIFORNIA BUILDING STANDARDS COMMISSION (CBSC)

ELECTRICAL CODE
2016 CALIFORNIA ELECTRICAL CODE, TITLE 24, PART 3 (INCORPORATING 2014 NATIONAL ELECTRICAL CODE- NFPA 70)

FIRE CODE
2019 CALIFORNIA FIRE CODE, TITLE 24, PART 9, PUBLISHED BY THE CALIFORNIA BUILDING STANDARDS COMMISSION (CBSC)

MECHANICAL CODE
2019 CALIFORNIA MECHANICAL CODE, TITLE 24, PART 4 (INCORPORATING 2015 UNIFORM MECHANICAL CODE)

PLUMBING CODE
2019 CALIFORNIA PLUMBING CODE, TITLE 24, PART 5 (INCORPORATING 2015 UNIFORM PLUMBING CODE)

ELEVATOR CODE
CALIFORNIA CODE OF REGULATIONS (CAL/OSHA),TITLE 8, DIVISION 1, CHAPTER 4, SUBCHAPTER 6 (INCORPORATING ASME A17.1-2016) (AS CURRENTLY AMENDED)

ENERGY CODE
2019 CALIFORNIA ENERGY CODE, TITLE 24, PART 6, THE CALIFORNIA BUILDING STANDARDS COMMISSION (CBSC)

PLANNING CODE
2020 SAN JOSE MUNICIPAL CODE VOLUME II 2000, TITLE 20 ZONING

ACCESSIBILITY
2010 ADA STANDARDS (AS CURRENTLY AMENDED)

SEPARATE PERMITS
1. ELEVATORS
2. SIGNAGE
3. FIRE UNDERGROUND (FD) PERMIT
4. DEMOLITION

BUILDING CODE SUMMARY

BUILDING OCUPANCY (CBC CHAPTER 3)

OVERALL BUILDING OCCUPANCY: MIXED (B, R-2, A-3, M, S-2)

FLOOR B-1 TO B-4: ENCLOSED PARKING (S-2)

GROUND FLOOR: RETAIL (M), PARKING/LOADING ACCESS (S-2), OFFICE LOBBY (B).

2ND – 11TH FLOOR: RESIDENTIAL (R-2), RETAIL (M), AMENITIES (A-3).

12TH – 21TH FLOOR: OFFICE (B), EXTERIOR TERRACE (A-3).

ROOF TERRACE: EXTERIOR TERRACE (A-3)

CONSTRUCTION TYPE (CBC TABLE 503)

TYPE IA THROUGHOUT (UNLIMITED HEIGHT AND AREA):
UNSEPARATED USE

FIRE RESISTIVE FEATURES

PRIMARY STRUCTURAL FRAME: 3-HOUR (CBC TABLE 601)

BEARING WALLS: 3-HOUR (CBC TABLE 601)

NON-BEARING WALLS (EXTERIOR) (CBC TABLES 602, 705.8)

0-HR REQUIRED

FLOOR CONSTRUCTION (AND OCCUPIED ROOF) 2-HOUR (CBC TABLE 601)

ROOF CONSTRUCTION 1-HOUR (CBC TABLE 601, 403.2.1.1)

CORRIDORS:
1. A, B, S: 0-HOUR (TABLE 1020.1)
2. R: 1-HOUR

CORRIDOR DOORS (B/R): 20-MINUTE (CBC TABLE 716.5)

ELEVATOR LOBBIES:
1. 1-HOUR (CBC 3006.2 & 3006.3)
2. 0-HOUR (NO LOBBY) AT EXIT DISCHARGE LEVEL

ELEVATOR LOBBY DOORS:
1. 20-MINUTE (CBC 716.5.3 AND 3006.3)

STAIR ENCLOSURES:
1. WALL: 2-HOUR (CBC 1023.2, 1023.11)
2. DOORS: 1½-HOUR (TABLE 716.5)

UTILITY SHAFTS:
1. WALLS: 2-HOUR (CBC 713.4, 713.14, 3006.2 & 3006.3)

ELEVATOR SHAFTS:
WALLS: 2-HOUR (CBC 713.4)
DOORS: 1½-HOUR (TABLE 716.5)

REFUSE CHUTE:
SHAFT: 2-HOUR
ACCESS ROOM FROM CORRIDOR: 1-HOUR
TERMINATION ROOM: 2-HOUR

BUILDING EXITING

OCCUPANT LOAD FACTORS:

STORAGE: 1 PERSON/300 SQ.FT. GROSS
MECHANICAL: 1 PERSON/300 SQ.FT. GROSS
ASSEMBLY: CONCENTRATED 1 PERSON/7 SQ.FT. NET
ASSEMBLY (INCLUDING EXT. TERRACES): 1 PERSON/15 SQ.FT. NET
ASSEMBLY: STANDING 1 PERSON/5 SQ.FT. NET
BUSINESS: 1 PERSON/100 GROSS
RESIDENTIAL: 1 PERSON/200 GROSS
KITCHENS, COMMERCIAL: 1 PERSON/200 GROSS
LOCKER ROOMS: 1 PERSON/50 GROSS

EXIT CAPACITY:

STAIRS: 0.2 INCHES/PERSON (CBC 1005.3.1 EXCEPTION 1- AUTOMATIC SPRINKLER SYSTEM/VOICE EVAC.)

OTHER COMPONENTS: 0.15 INCHES/PERSON (CBC 1005.3.2 EXCEPTION 1- AUTOMATIC SPRINKLER SYSTEM/VOICE F.A. EVAC.)

ACCESSIBLE MEANS OF EGRESS:

STAIRWAYS (CBC 1007.3)

DOORS:

SWING IN DIRECTION OF EGRESS >49 PEOPLE (1008.1.2)
MINIMUM SIZE: 32" CLEAR (1008.1.1)
MAXIMUM SIZE: 48" DOOR LEAF (1008.1.1)

EXIT DISCHARGE
50% MAY BE TO AN INTERNAL LOBBY (1027.1)
CONTINUES TO A PUBLIC WAY (1027.5)

SUPPRESSION SYSTEMS
AUTOMATIC SPRINKLERS: REQUIRED THROUGHOUT (403.3)

WATER SUPPLY:
UTILITY MAINS: 2 CONNECTIONS (403.3.2)
ON-SITE SECONDARY SUPPLY: (903.3.5.2)

FIRE PUMPS:
REDUNDANT PUMP SYSTEMS REQUIRED (403.3.2.1)
EACH PUMP ON STANDBY POWER PROVIDED BY EMERGENCY GENERATOR (403.4.8)
PUMP ROOM TO BE 2-HOUR (913.2.1) ACCESS TO PUMP FROM EXTERIOR MUST BE THROUGH A 2-HOUR PASSAGEWAY.
(ENCLOSED STAIRS MAY SERVE AS PART OF PASSAGEWAY.)

AUTOMATIC SPRINKLER SYSTEM DENSITY (NFPA 13):
PARKING (THREE LEVELS): ORDINARY HAZARD GROUP 1
RESIDENTIAL: LIGHT HAZARD
OFFICE: LIGHT HAZARD
RETAIL: ORDINARY HAZARD GROUP 2
MODERATE HAZARD STORAGE: ORDINARY HAZARD GROUP

STANDPIPE SYSTEMS:
STANDPIPE CLASS: CLASS I
STANDPIPE TYPE: MANUAL WET
OUTLET SIZE: 2½"
OUTLET LOCATIONS:
STAIR ENCLOSURE; INTERMEDIATE LANDING (905.3.11.1)
MORE THAN 150' FROM AN OUTLET (905.3.11.1)
HORIZONTAL EXITS (IF PROVIDED).

FIRE ALARM SYSTEMS:
INITIATING DEVICES:
WATERFLOW PER FLOOR
AREA SMOKE DETECTORS
AT ELEVATOR LOBBY
AT AUTO-CLOSING DOORS
IN FRONT OF PRESSURIZED STAIRS
MECHANICAL AND ELECTRICAL ROOMS
DUCT SMOKE DETECTORS: AT FANS, SMOKE DAMPERS AND FIRE/SMOKE DAMPERS.

SUPERVISORY DEVICES:
FIRE PUMP
RESERVOIR
SPRINKLER CONTROL VALVES
SMOKE DAMPERS
SMOKE CONTROL FANS

OCCUPANT NOTIFICATION (907.2.13)
VOICE SYSTEM WITH PRE-RECORDED MESSAGE
MICROPHONE IN FIRE COMMAND CENTER (FCC)
VISUAL (STROBES) DEVICES

WIRING TO BE CLASS A, IN METALLIC CONDUIT

ZONING TO BE ON A PER FLOOR BASIS (AT MINIMUM)

SMOKE ALARMS - TBD

CARBON MONOXIDE DETECTORS – TBD

COMMUNICATION SYSTEMS:
ONE-WAY VOICE SYSTEM TO ALL AREAS (907.2.13)
TWO-WAY COMMUNICATION AT ELEVATOR LOBBY/LANDING (1009.8)
EMERGENCY RESPONDER RADIO SYSTEM REQUIRED (907.2.13.2)

SMOKE CONTROL:

PRESSURIZED STAIR:
2-HOUR WALL ENCLOSURE OF STAIR AND VESTIBULE
2-HOUR WALL BETWEEN STAIR AND VESTIBULE
1½-HOUR DOOR TO VESTIBULE (FROM FLOOR)
20-MINUTE DOOR TO STAIR (FROM VESTIBULE)

PRESSURIZED:
FLOOR (0) TO VESTIBULE (0.05" WC +)
VESTIBULE (0) TO STAIR (0.05" WC +)
STAIR ENCLOSURE SERVING THREE LEVELS OR LESS
INCLUDING DISCHARGE FLOOR NOT REQUIRED TO BE PRESSURIZED.

FLOOR TO FLOOR SMOKE CONTROL – TBD

RATIONAL ANALYSIS TO BE PROVIDED.

OTHER HIGH-RISE FEATURES:

STRUCTURAL INTEGRITY OF INTERIOR EXIT STAIRWAY AND ELEVATOR HOISTWAY ENCLOSURE TO BE UPGRADED DUE TO RISK CATEGORY III BUILDING (403.2.3)

A FIRE COMMAND CENTER (FCC) TO BE PROVIDED PER CBC 911 (403.4.6)

STANDBY POWER TO BE PROVIDED BY EMERGENCY GENERATOR FOR VARIOUS EMERGENCY POWER LOADS (403.4.8.1)

EXIT STAIR SEPARATION (403.5.1) 30' MINIMUM (1/4 LENGTH OF MAXIMUM DIAGONAL)

STAIR LOCKING TO PREVENT REENTRY PERMITTED WITH MANUAL UNLOCK FOR FCC AND STAIRWAY PHONE SYSTEM (403.5.3)

FIRE SERVICE ELEVATORS REQUIRED (403.6): 2 ELEVATORS REQUIRED

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SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1600
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE ISSUE

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NOT FOR CONSTRUCTION

KEY PLAN

BAR SCALE

SHEET NAME

CODE SUMMARY

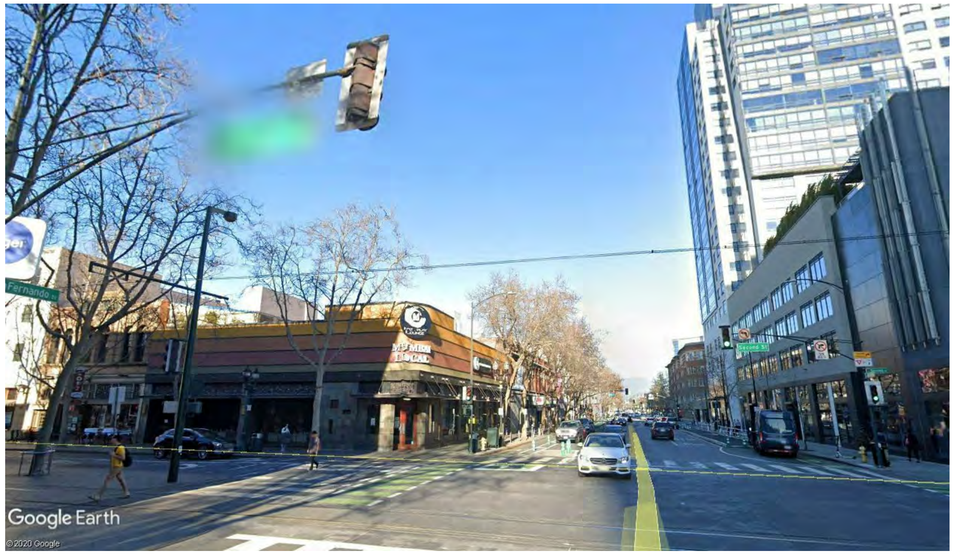
PROJECT NO 20508
DOB NO 5050
SCALE
FORMAT ARCH D
DATE 6/1/2020

SHEET NO G.01

VIEW FROM N 2ND STREET & E SANTA CLARA: LOOKING SOUTH

VIEW FROM E SANTA CLARA STREET: LOOKING WEST

VIEW FROM S 1ST STREET & E SAN FERNANDO STREET: LOOKING NORTH



VIEW FROM S 2ND STREET STREET & E SAN FERNANDO STREET: LOOKING NORTH

SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
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SHEET NAME

PROJECT VIEWS

PROJECT NO **20508**	SHEET NO **G.02**
DOB NO **5050**	
SCALE	
FORMAT **ARCH D**	
DATE **6/1/2020**	

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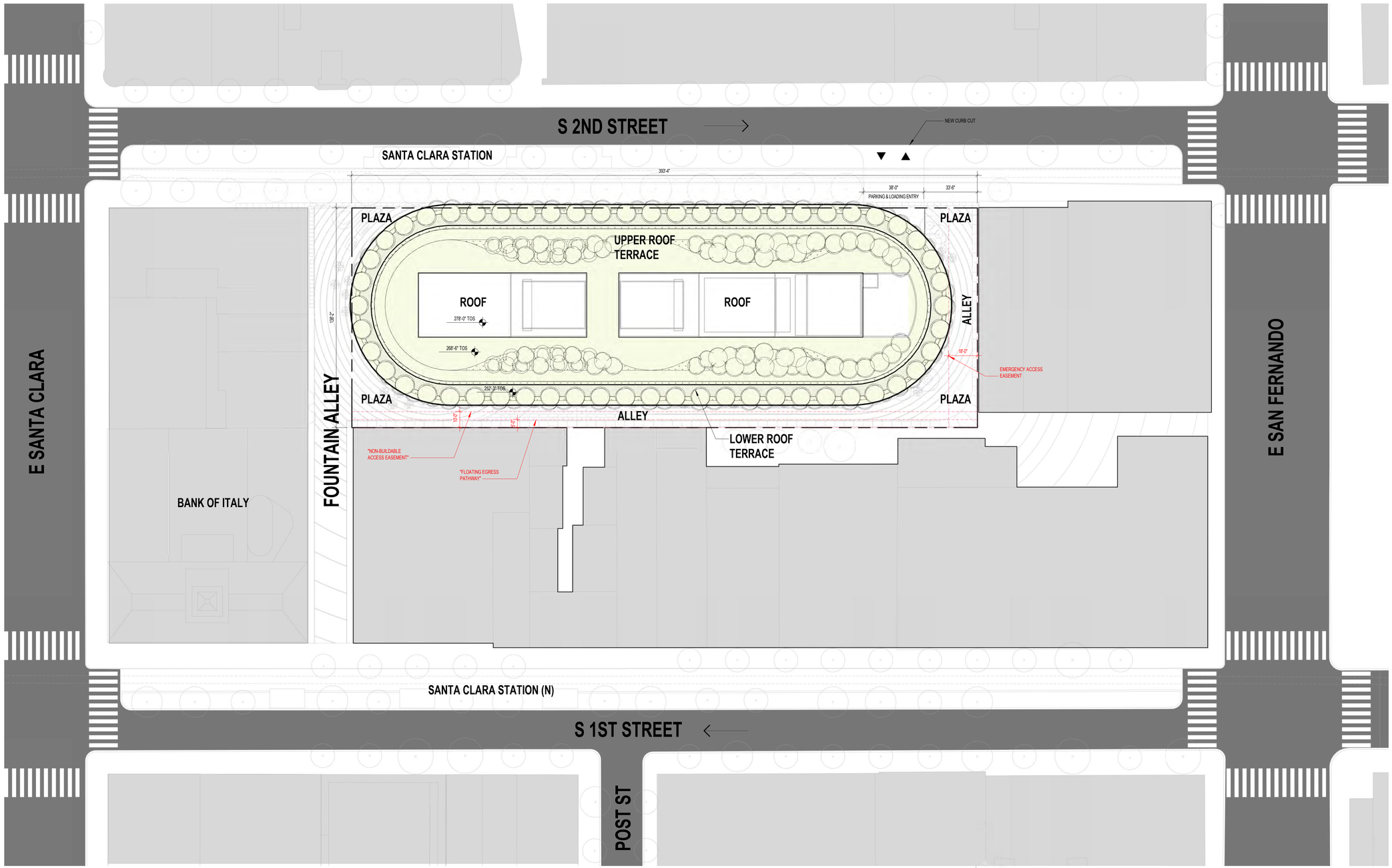

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BAR SCALE

SHEET NAME

SITE PLAN

PROJECT NO	20508
DOB NO	5050
SCALE	1" = 30'-0"
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO

G.03

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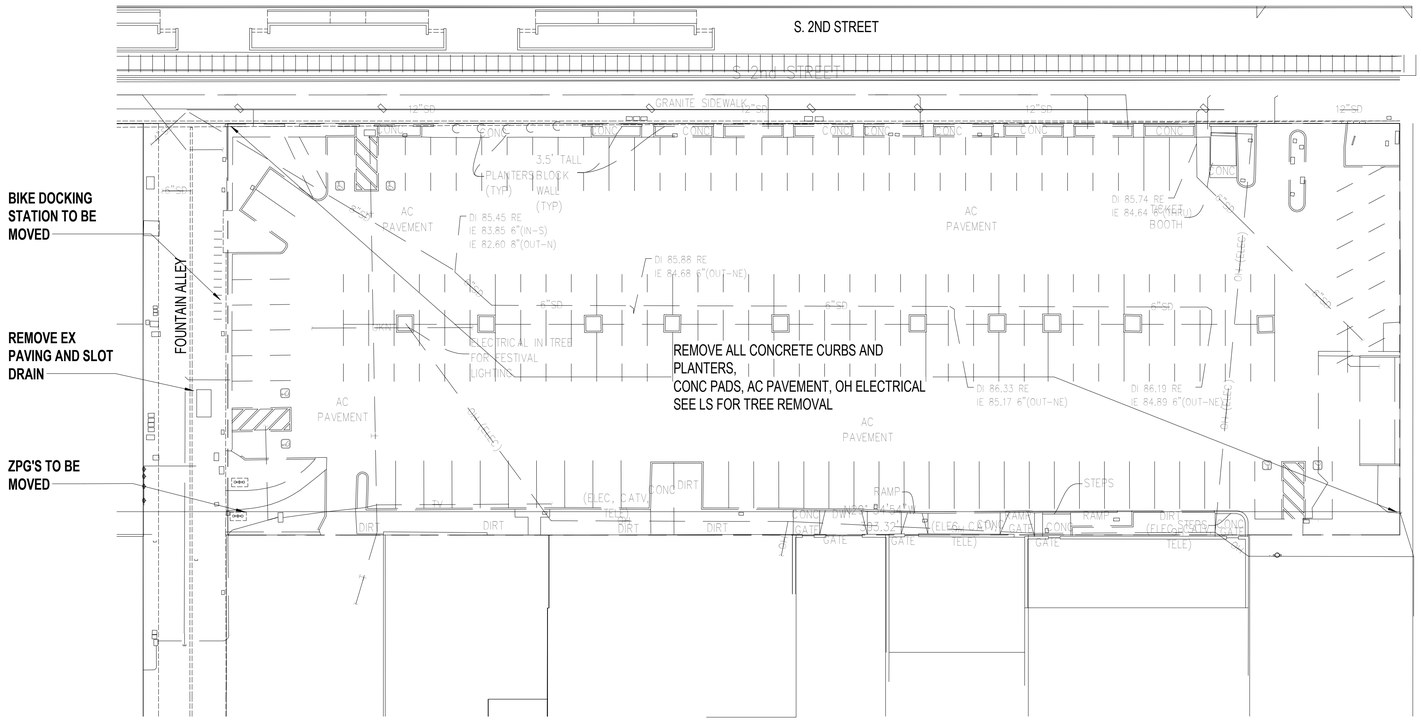

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BAR SCALE

SHEET NAME

SITE DEMOLITION

PROJECT NO **20508**	SHEET NO **G.04**
DOB NO **5050**	
SCALE **1/2" = 1'-0"**	
FORMAT **ARCH D**	
DATE **6/1/2020**	

BIKE STORAGE

LONG TERM BIKE TOTAL: 402 (BELOW GRADE)

COMMERCIAL: 240
RESIDENTIAL: 162
SHOWERS: 12

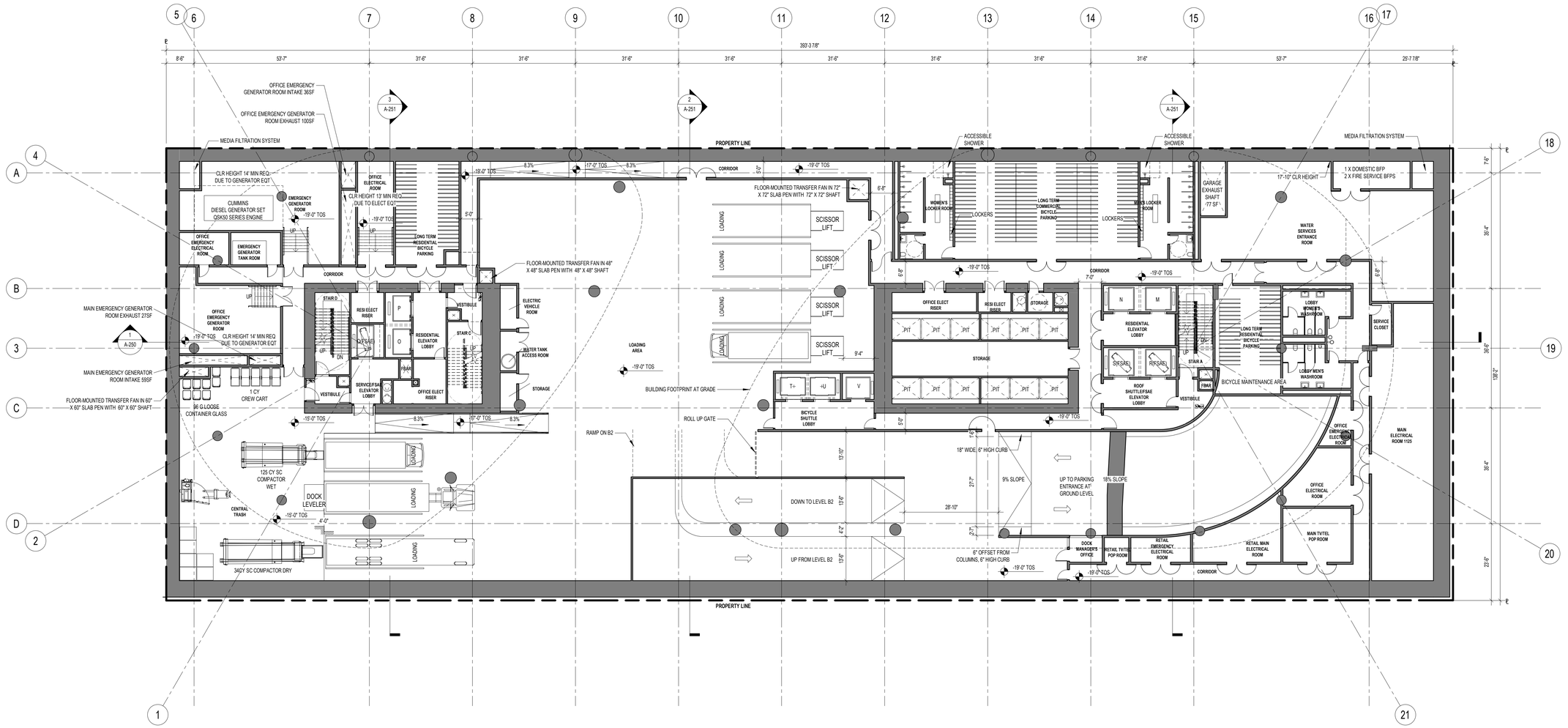
SHORT TERM BIKE TOTAL: 85 (AT GRADE)

COMMERCIAL: 66
RESIDENTIAL: 19

TOTAL: 487 BIKES

LOADING

TOTAL: 7 BERTHS PROVIDED



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1080 MARINA VILLAGE PARKWAY, SUITE 501
ALAMEDA, CA 94501
T +1 510 749 9135

ELECTRICAL
NEMETZ (S/A) & ASSOCIATES LTD.
2009 WEST 4TH AVENUE
VANCOUVER, BC V6J 1N3
T +1 604 736 6562

FIRE & LIFE SAFETY
HOLMES FIRE
235 MONTGOMERY STREET #1250
SAN FRANCISCO, CA 94104
T +1 415 693 1500

LANDSCAPE ARCHITECT
BIONIC
PO BOX 460309
SAN FRANCISCO, CA 94146
T +1 415 206 0648

GEOTECHNICAL
LANGAN
1 ALMADEN BLVD, SUITE 590
SAN JOSE, CA 95113
T +1 408 283 3600

TRANSPORTATION
FEHR & PEERS
160 W. SANTA CLARA STREET, SUITE 675
SAN JOSE, CA 95113
T +1 408 279 1700

PARKING
WATRY DESIGN INC.
SAN JOSE, CA
T +1 408 392 7500

DATE ISSUE

SEAL

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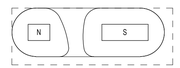
NOT FOR CONSTRUCTION

KEY PLAN



BAR SCALE

SHEET NAME

LOADING

PROJECT NO **20508**
DOB NO **5050**
SCALE **1/16" = 1'-0"**
FORMAT **ARCH D**
DATE **6/1/2020**

SHEET NO **A.1B1**

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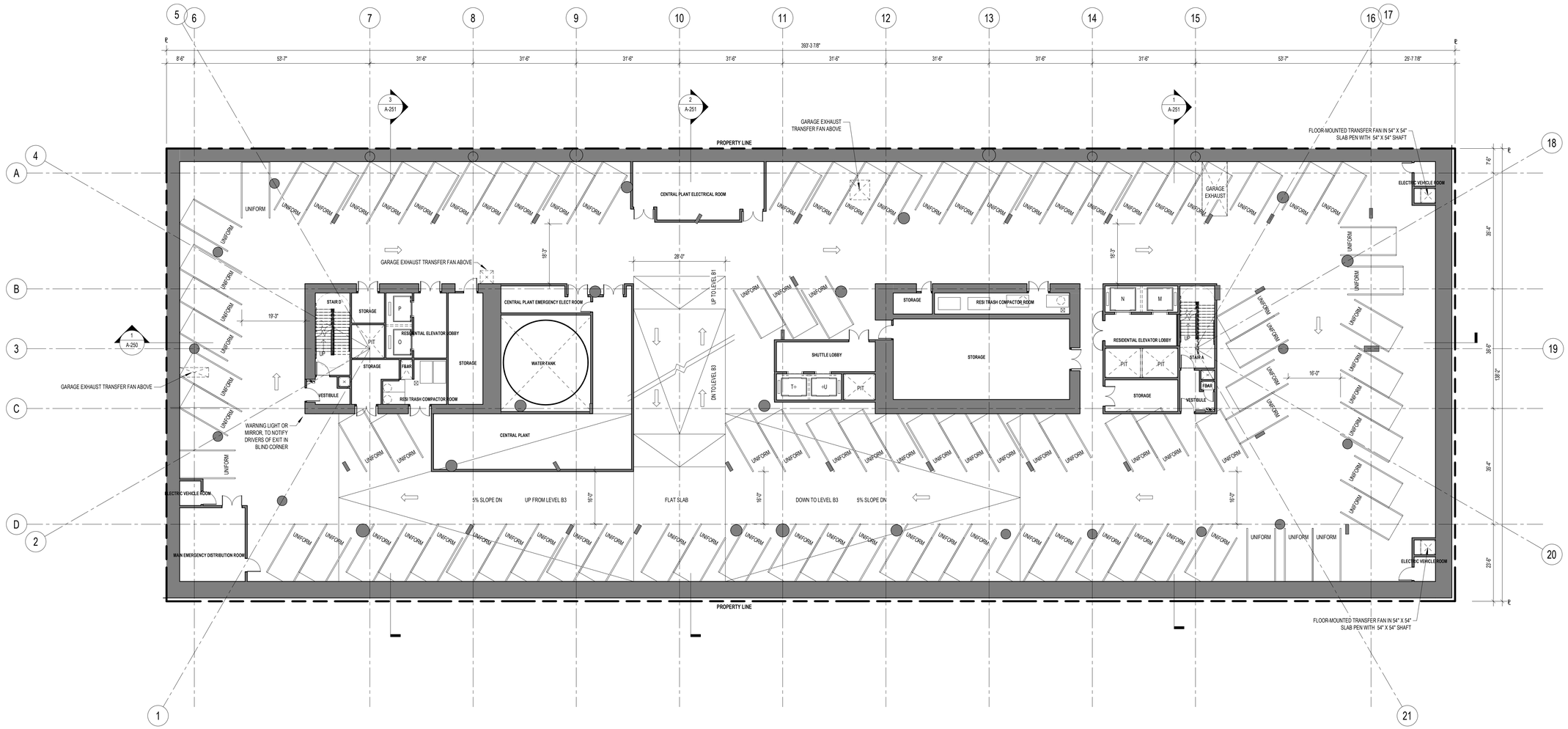

BELOW GRADE PARKING SCHEDULE		
Level	Type	Count
L-02 - PARKING	17' x 8' 6"	92
L-03 - PARKING	17' x 8' 6"	100
L-04 - PARKING	17' x 8' 6"	100
Grand total: 292		

SAN JOSE FOUNTAIN ALLEY

35 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1500
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7600

DATE	ISSUE

SEAL

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NOT FOR CONSTRUCTION

KEY PLAN

BAR SCALE

SHEET NAME

PARKING

PROJECT NO	20508
DOB NO	5050
SCALE	1/16" = 1'-0"
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO

A.1B2

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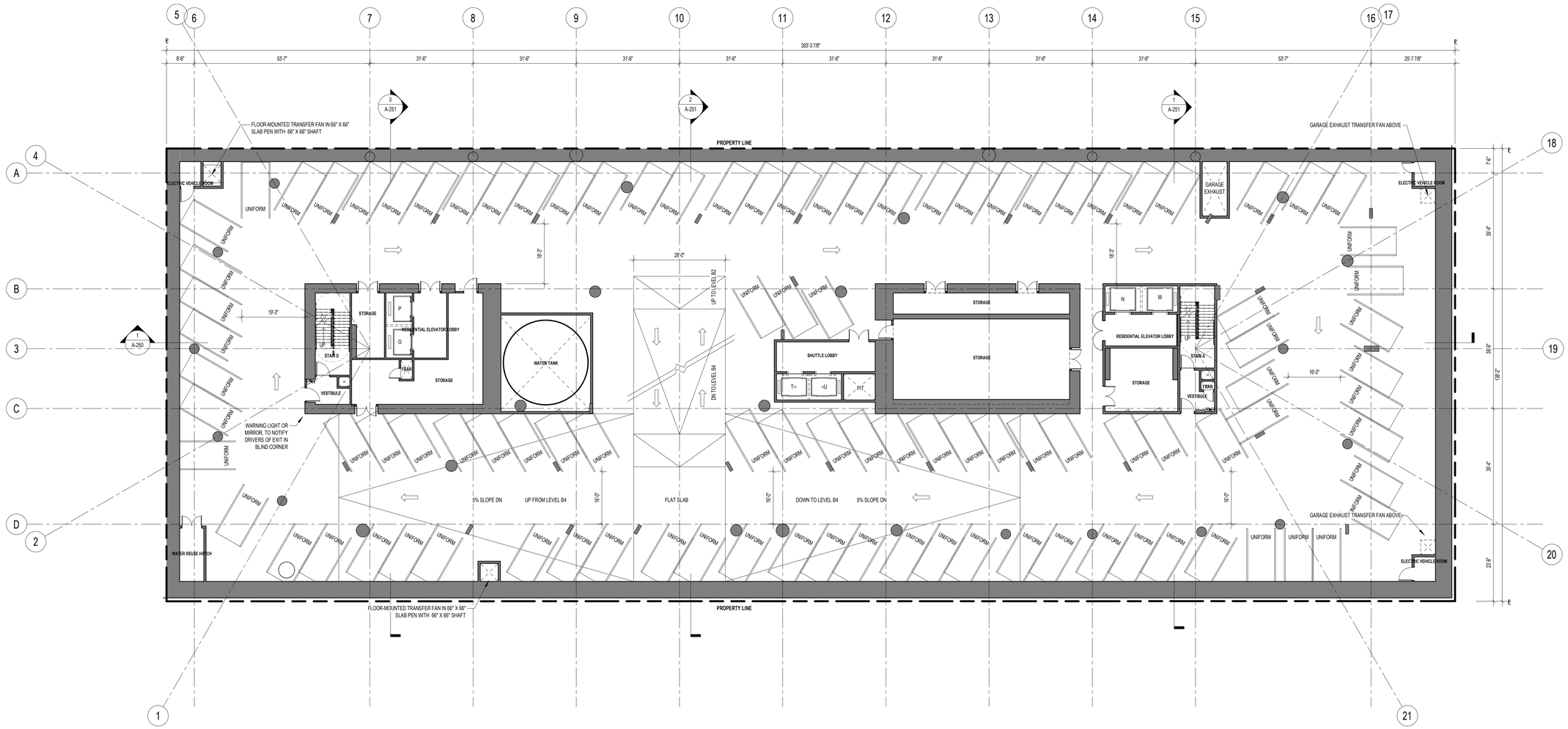

BELOW GRADE PARKING SCHEDULE

Level	Type	Count
L-02 - PARKING	17' x 8' 6"	92
L-03 - PARKING	17' x 8' 6"	100
L-04 - PARKING	17' x 8' 6"	100
Grand total: 292		

SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1681 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1500
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

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KEY PLAN

BAR SCALE

SHEET NAME

PARKING

PROJECT NO	**20508**
DOB NO	**5050**
SCALE	**1/16" = 1'-0"**
FORMAT	**ARCH D**
DATE	**6/1/2020**

SHEET NO **A.1B3**

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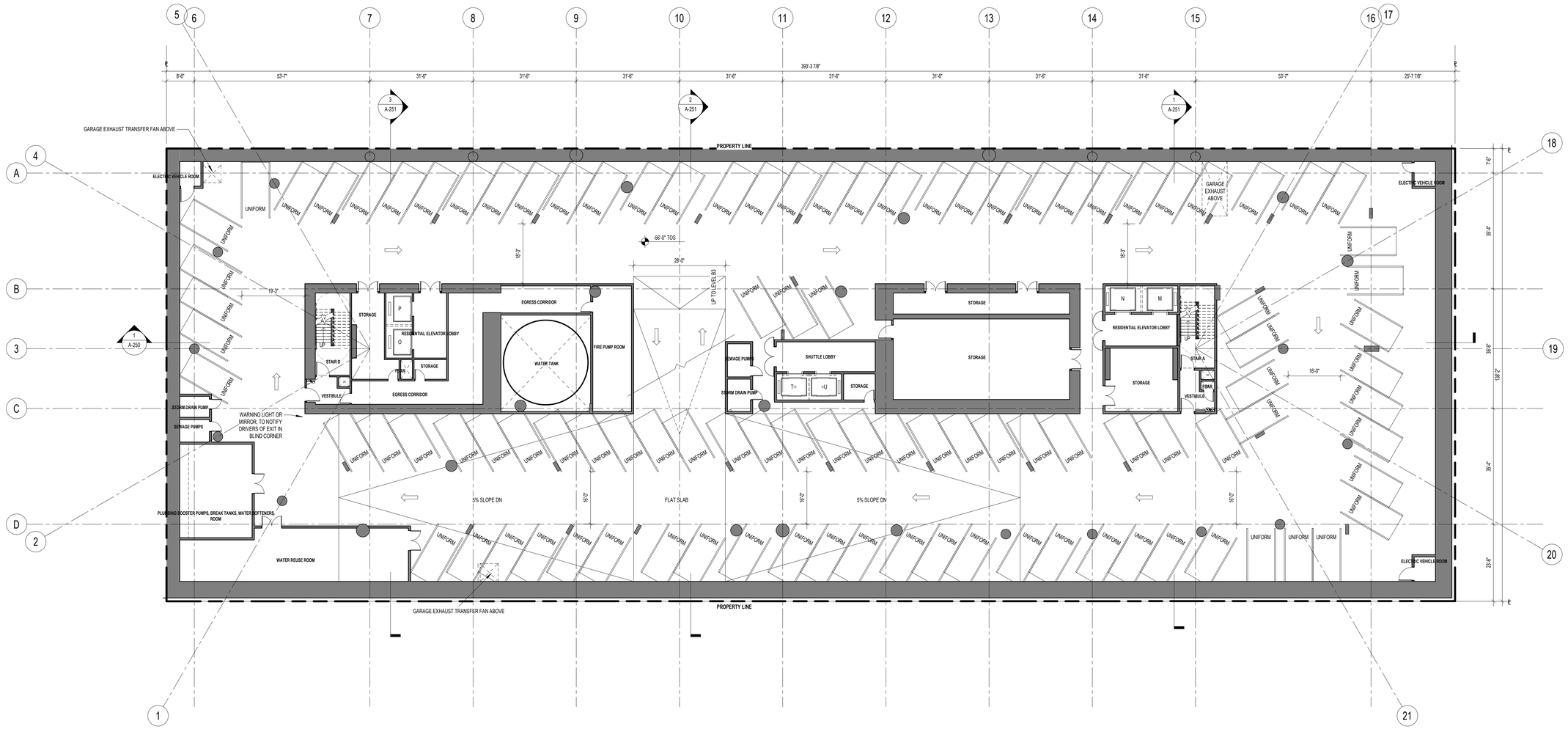

BELOW GRADE PARKING SCHEDULE		
Level	Type	Count
L -02 - PARKING	17' x 8' 6"	92
L -03 - PARKING	17' x 8' 6"	100
L -04 - PARKING	17' x 8' 6"	100
Grand total: 292		

SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1681 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1500
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

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KEY PLAN

BAR SCALE

SHEET NAME

PARKING

PROJECT NO **20508**	SHEET NO **A.1B4**
DOB NO. **5050**	
SCALE **1/16" = 1'-0"**	
FORMAT **ARCH D**	
DATE **6/1/2020**	

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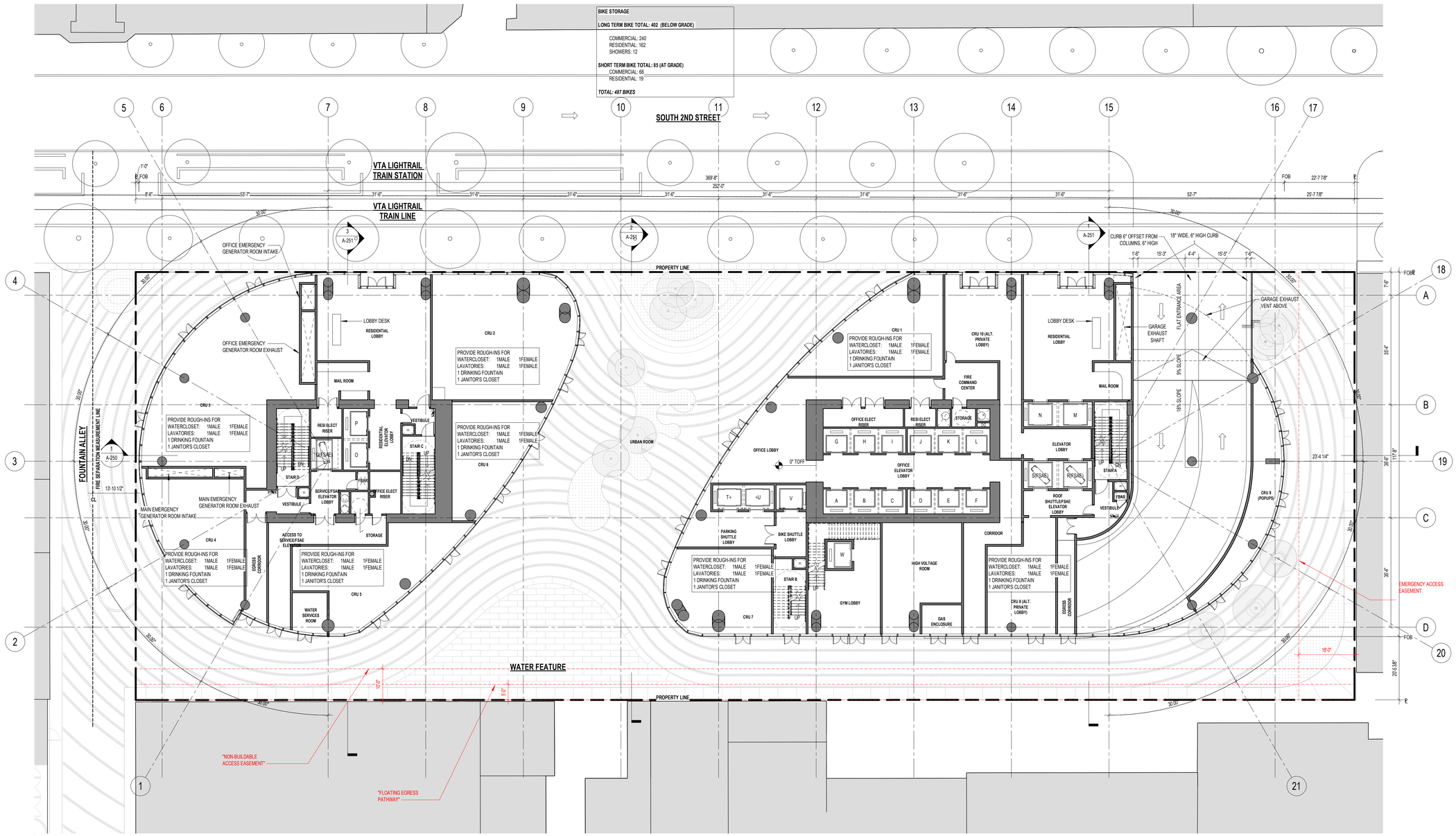

SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT — **WESTBANK CORPORATION**
600-1067 WEST CORDOVA STREET
VANCOUVER BC V6C 1C7
T +1 604 685 8986

ARCHITECT — **BJARKE INGELS GROUP**
61 BROADWAY, SUITE 3300
NEW YORK, NY 10006, USA
T +1 347 549 4141

CIVIL — **KIER & WRIGHT**
3350 SCOTT BLVD BUILDING 22
SANTA CLARA, CA 95054
T +1 408 727 6665

STRUCTURAL — **GLOTMAN SIMPSON CONS. ENG.**
1681 WEST 5TH AVENUE
VANCOUVER, BC V6J 1N5
T +1 604 734 882

MECHANICAL / PLUMBING / FIRE PROTECTION — **TAYLOR ENGINEERING**
1080 MARINA VILLAGE PARKWAY, SUITE 501
ALAMEDA, CA 94501
T +1 510 749 9135

ELECTRICAL — **NEMETZ (S/A) & ASSOCIATES LTD.**
2009 WEST 4TH AVENUE
VANCOUVER, BC V6J 1N3
T +1 604 736 6562

FIRE & LIFE SAFETY — **HOLMES FIRE**
235 MONTGOMERY STREET #1250
SAN FRANCISCO, CA 94104
T +1 415 693 1500

LANDSCAPE ARCHITECT — **BIONIC**
PO BOX 460309
SAN FRANCISCO, CA 94146
T +1 415 206 0648

GEOTECHNICAL — **LANGAN**
1 ALMADEN BLVD, SUITE 590
SAN JOSE, CA 95113
T +1 408 283 3600

TRANSPORTATION — **FEHR & PEERS**
160 W. SANTA CLARA STREET, SUITE 675
SAN JOSE, CA 95113
T +1 408 278 1700

PARKING — **WATRY DESIGN INC.**
SAN JOSE, CA
T +1 408 392 7900

DATE	ISSUE

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KEY PLAN

BAR SCALE

SHEET NAME

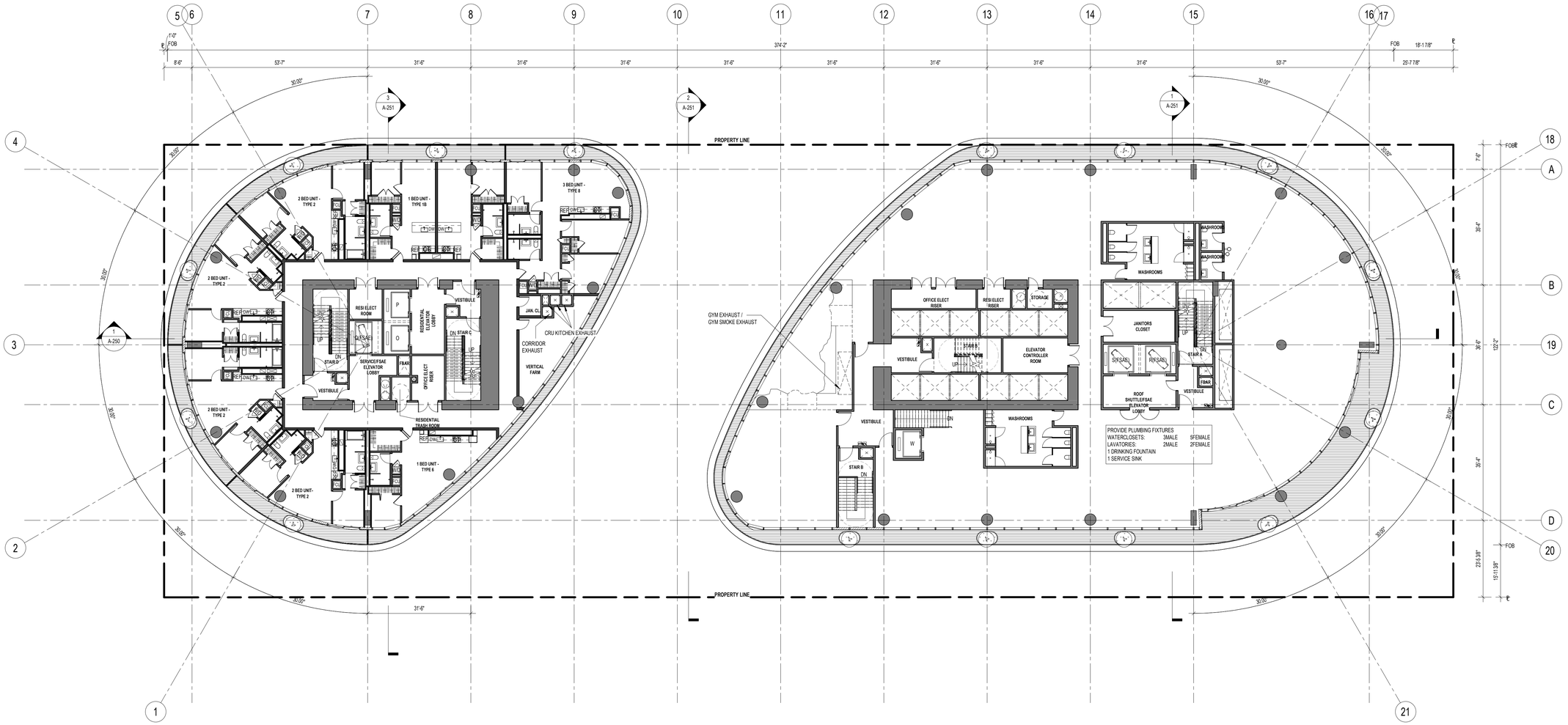
GROUND FLOOR

PROJECT NO	20508
DOB NO	5050
SCALE	1/16" = 1'-0"
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO **A.101**

11/13/2020 12:37:33 PM

FLOOR	UNIT TPYE			
	1 BED	2 BED	3 BED	
11	14	10	0	
10	12	8	2	
9	12	8	2	
8	12	8	2	
7	12	8	2	
6	12	8	2	
5	12	8	2	
4	12	8	2	
3	3	4	1	
2	3	4	1	
TOTAL	104	74	16	194



SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT — **WESTBANK CORPORATION**
600-1067 WEST CORDOVA STREET
VANCOUVER BC V6C 1C7
T +1 604 685 8986

ARCHITECT — **BJARKE INGELS GROUP**
61 BROADWAY, SUITE 3300
NEW YORK, NY 10006, USA
T +1 347 549 4141

CIVIL — **KIER & WRIGHT**
3350 SCOTT BLVD BUILDING 22
SANTA CLARA, CA 95054
T +1 408 727 6665

STRUCTURAL — **GLOTMAN SIMPSON CONS. ENG.**
1661 WEST 5TH AVENUE
VANCOUVER, BC V6J 1N5
T +1 604 734 882

MECHANICAL / PLUMBING / FIRE PROTECTION — **TAYLOR ENGINEERING**
1080 MARINA VILLAGE PARKWAY, SUITE 501
ALAMEDA, CA 94501
T +1 510 749 9135

ELECTRICAL — **NEMETZ (S/A) & ASSOCIATES LTD.**
2009 WEST 4TH AVENUE
VANCOUVER, BC V6J 1N3
T +1 604 736 6562

FIRE & LIFE SAFETY — **HOLMES FIRE**
235 MONTGOMERY STREET #1250
SAN FRANCISCO, CA 94104
T +1 415 693 1000

LANDSCAPE ARCHITECT — **BIONIC**
PO BOX 460309
SAN FRANCISCO, CA 94146
T +1 415 206 0648

GEOTECHNICAL — **LANGAN**
1 ALMADEN BLVD, SUITE 590
SAN JOSE, CA 95113
T +1 408 283 3600

TRANSPORTATION — **FEHR & PEERS**
160 W. SANTA CLARA STREET, SUITE 675
SAN JOSE, CA 95113
T +1 408 278 1700

PARKING — **WATRY DESIGN INC.**
SAN JOSE, CA
T +1 408 392 7900

DATE ISSUE

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KEY PLAN

BAR SCALE

SHEET NAME

2ND FLOOR

PROJECT NO **20508**
DOB NO **5050**
SCALE **1/16" = 1'-0"**
FORMAT **ARCH D**
DATE **6/1/2020**
SHEET NO **A.102**

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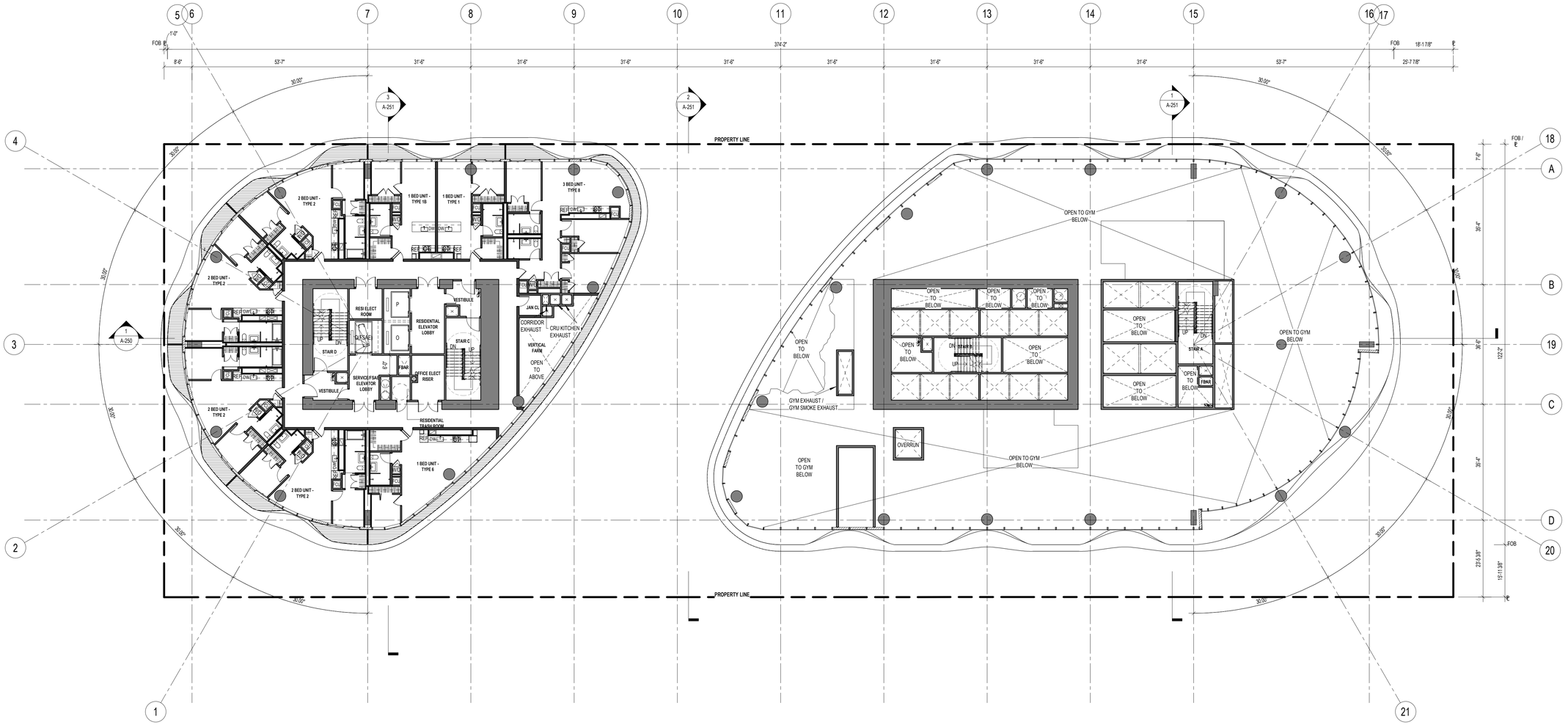

SAN JOSE FOUNTAIN ALLEY

35 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1681 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1000
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

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KEY PLAN

BAR SCALE

SHEET NAME

3RD FLOOR

PROJECT NO	**20508**
DOB NO	**5050**
SCALE	**1/16" = 1'-0"**
FORMAT	**ARCH D**
DATE	**6/1/2020**

SHEET NO **A.103**

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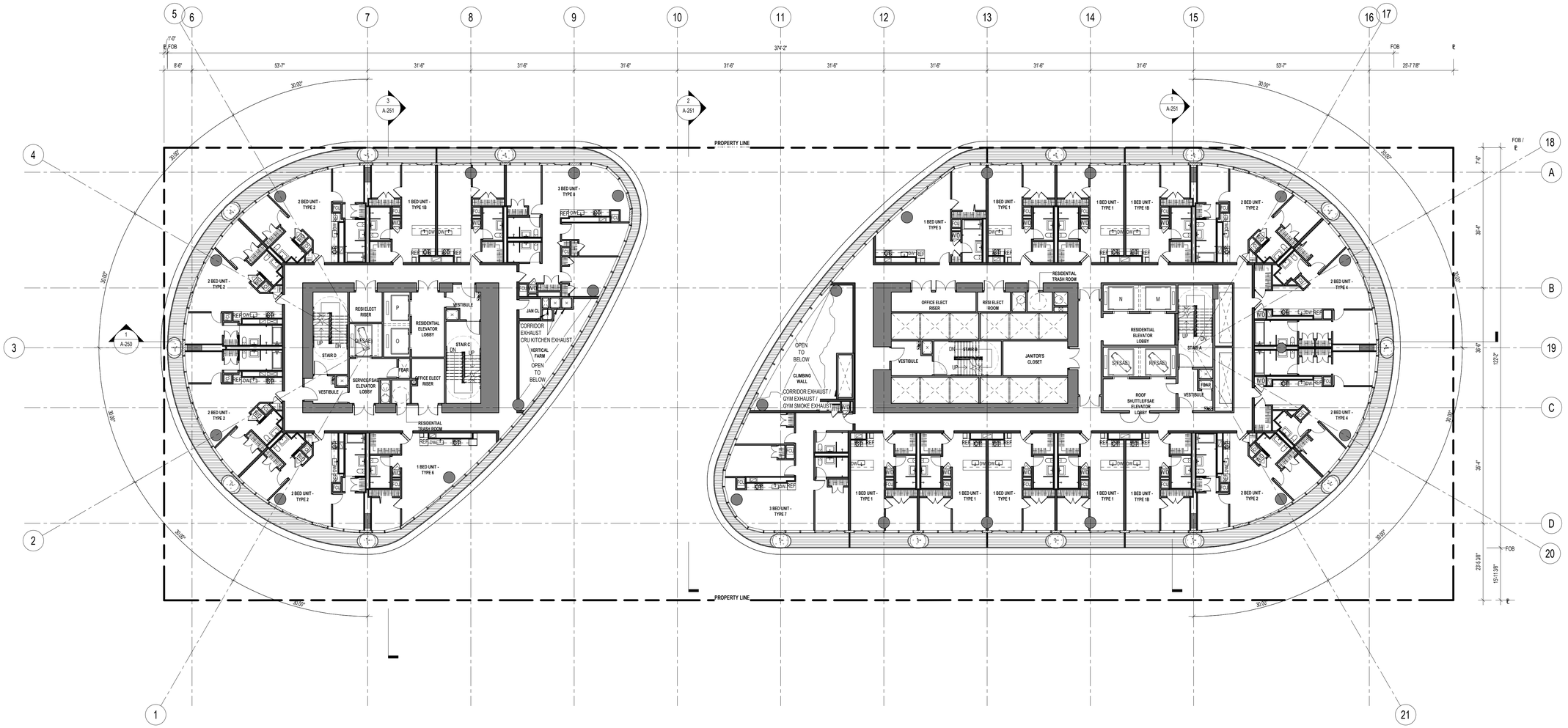

SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1681 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1000
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

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KEY PLAN

BAR SCALE

SHEET NAME

4th - 9th Floor

PROJECT NO	20508
DGN NO	5050
SCALE	1/16" = 1'-0"
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO **A.104**

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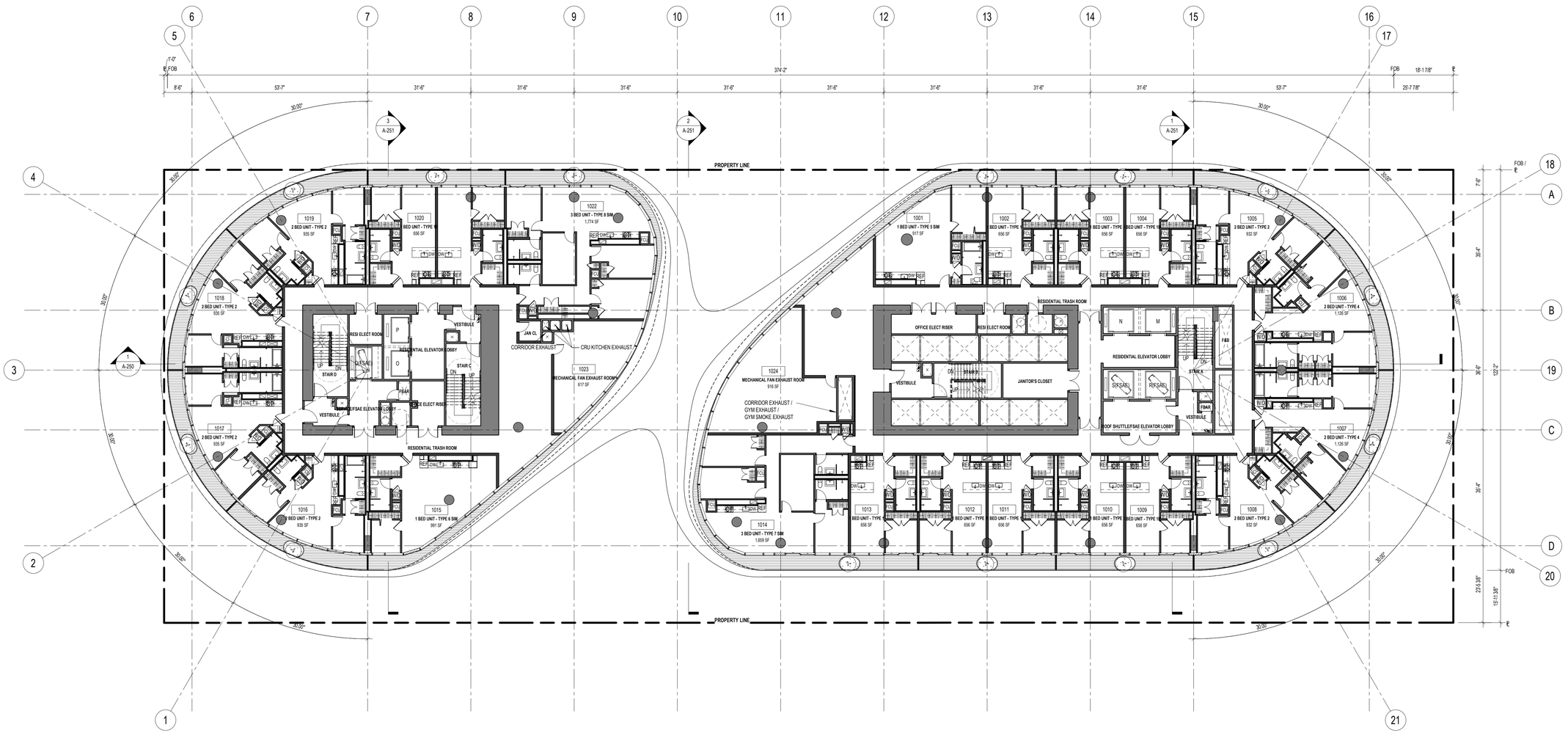

SAN JOSE FOUNTAIN ALLEY

35 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1681 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1000
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

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NOT FOR CONSTRUCTION

KEY PLAN

BAR SCALE

SHEET NAME

10TH FLOOR

PROJECT NO	20508
DOB NO	5050
SCALE	1/16" = 1'-0"
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO **A.110**

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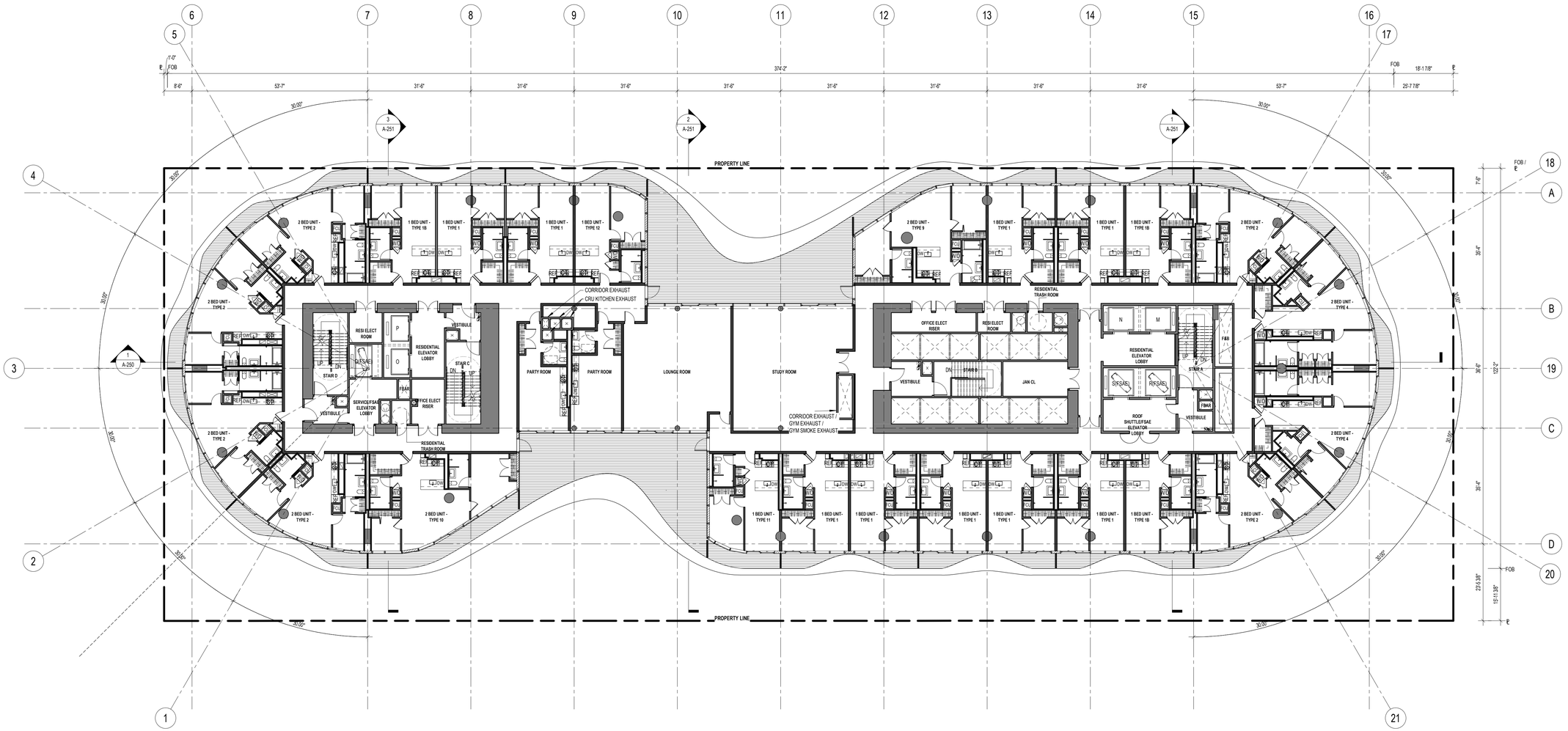

SAN JOSE FOUNTAIN ALLEY

35 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1681 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1000
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

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NOT FOR CONSTRUCTION

KEY PLAN

BAR SCALE

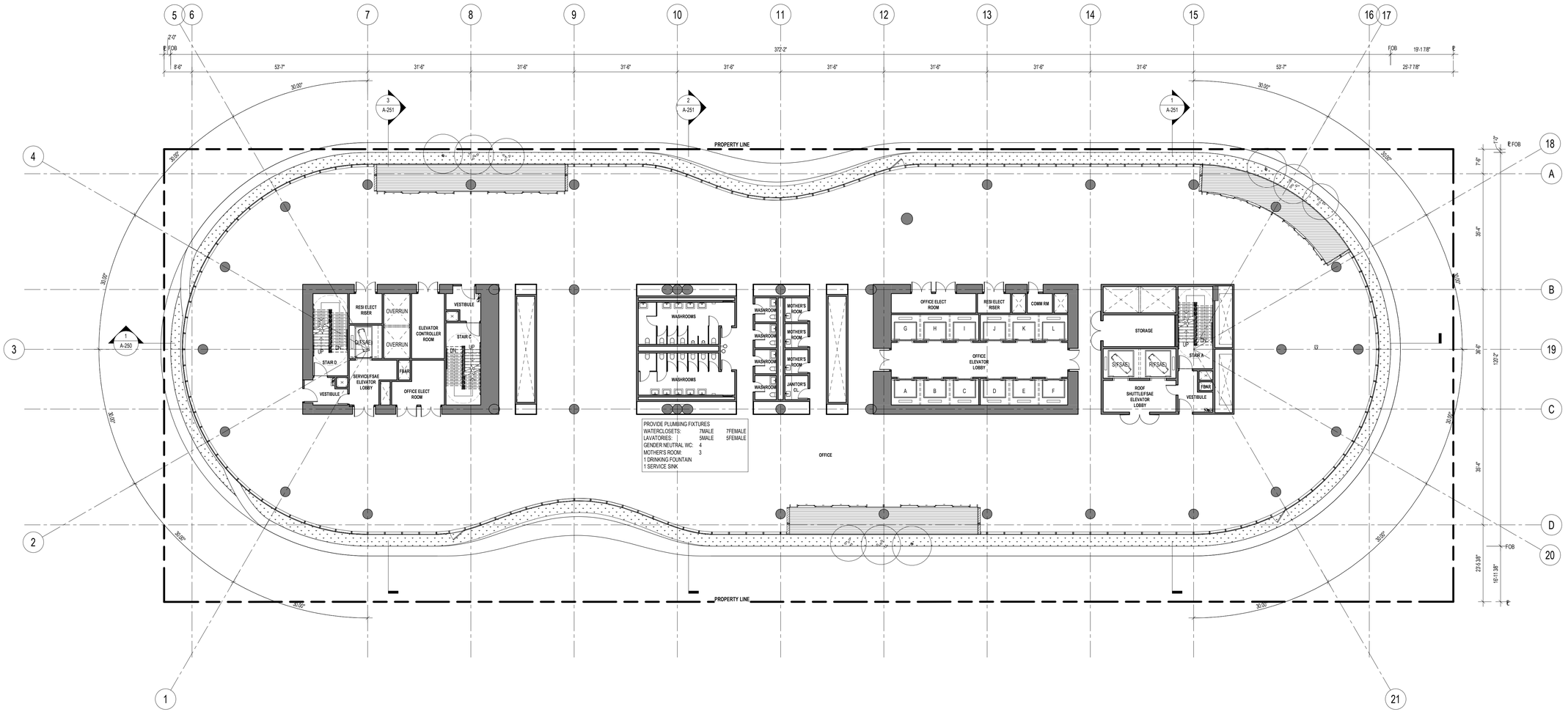
SHEET NAME

11TH FLOOR

PROJECT NO	20508
DOB NO	5050
SCALE	1/16" = 1'-0"
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO **A.111**

11/13/2020 12:38:09 PM



SAN JOSE FOUNTAIN ALLEY

35 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1681 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1000
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

NOT FOR CONSTRUCTION

KEY PLAN

BAR SCALE

SHEET NAME

12TH FLOOR

PROJECT NO	20508
DDS NO	5050
SCALE	1/16" = 1'-0"
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO **A.112**

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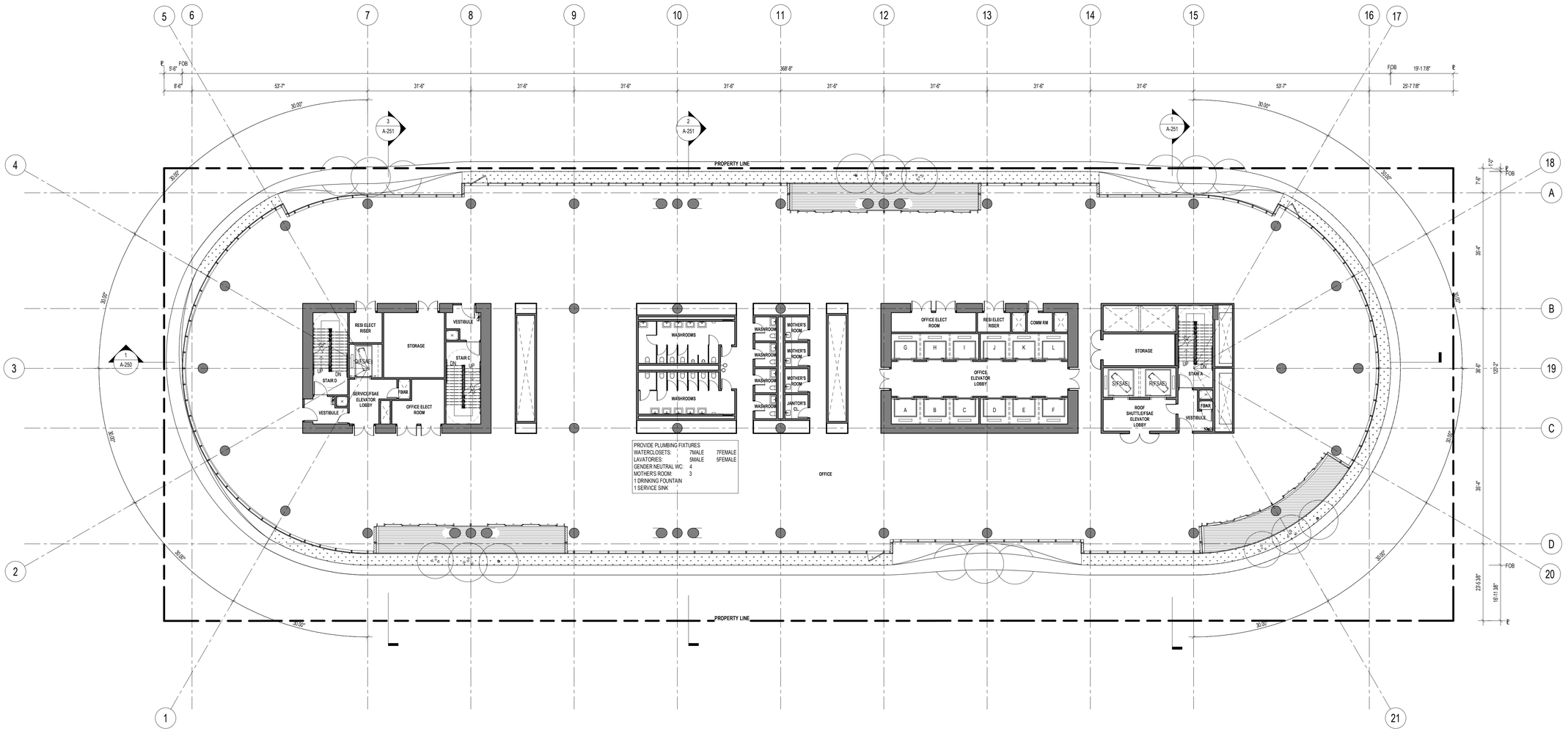

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SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1000
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

NOT FOR CONSTRUCTION

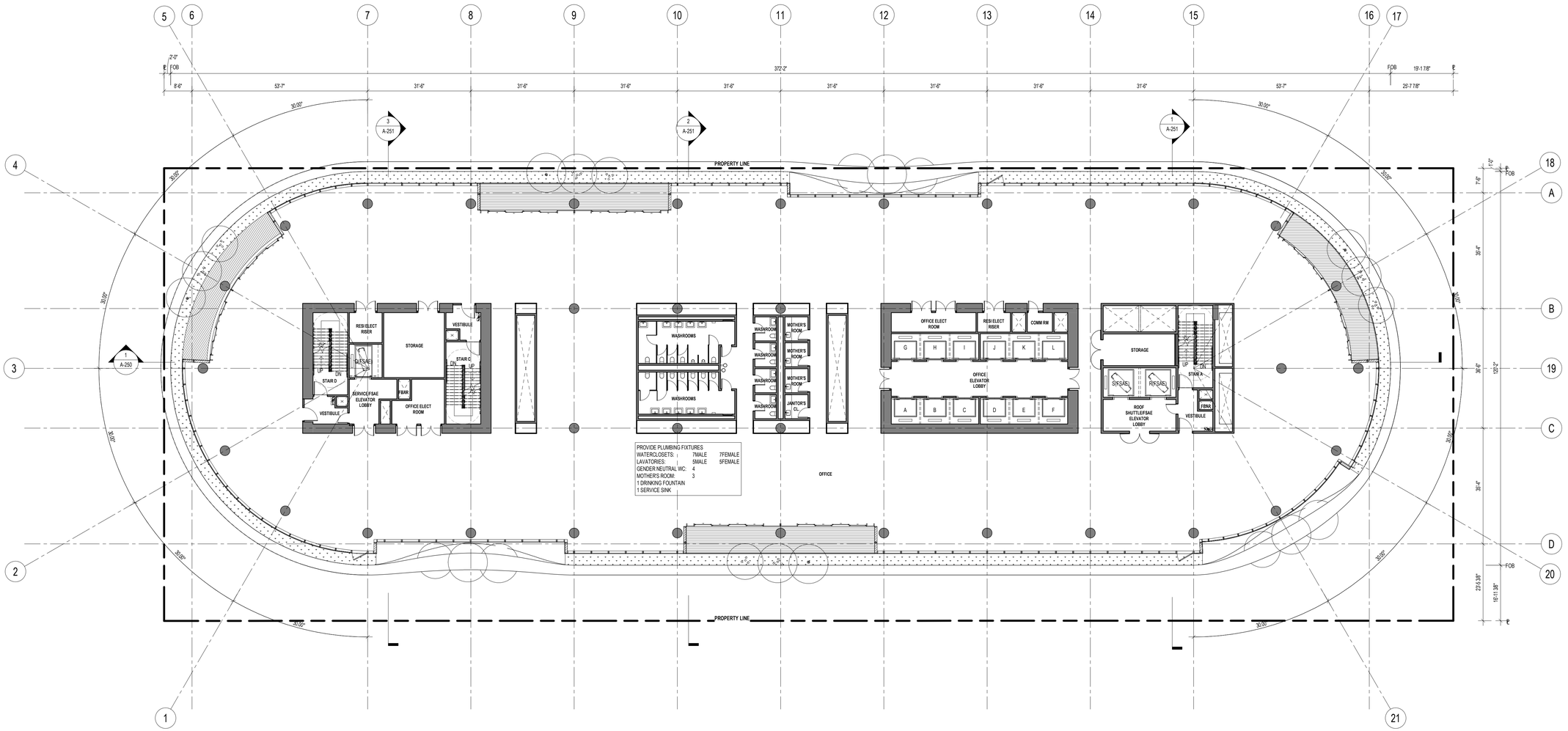
KEY PLAN

BAR SCALE

SHEET NAME

16TH FLOOR

PROJECT NO	**20508**
DOB NO	**5950**
SCALE	**1/16" = 1'-0"**
FORMAT	**ARCH D**
DATE	**6/1/2020**
SHEET NO	**A.116**



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SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1681 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1000
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

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NOT FOR CONSTRUCTION

KEY PLAN

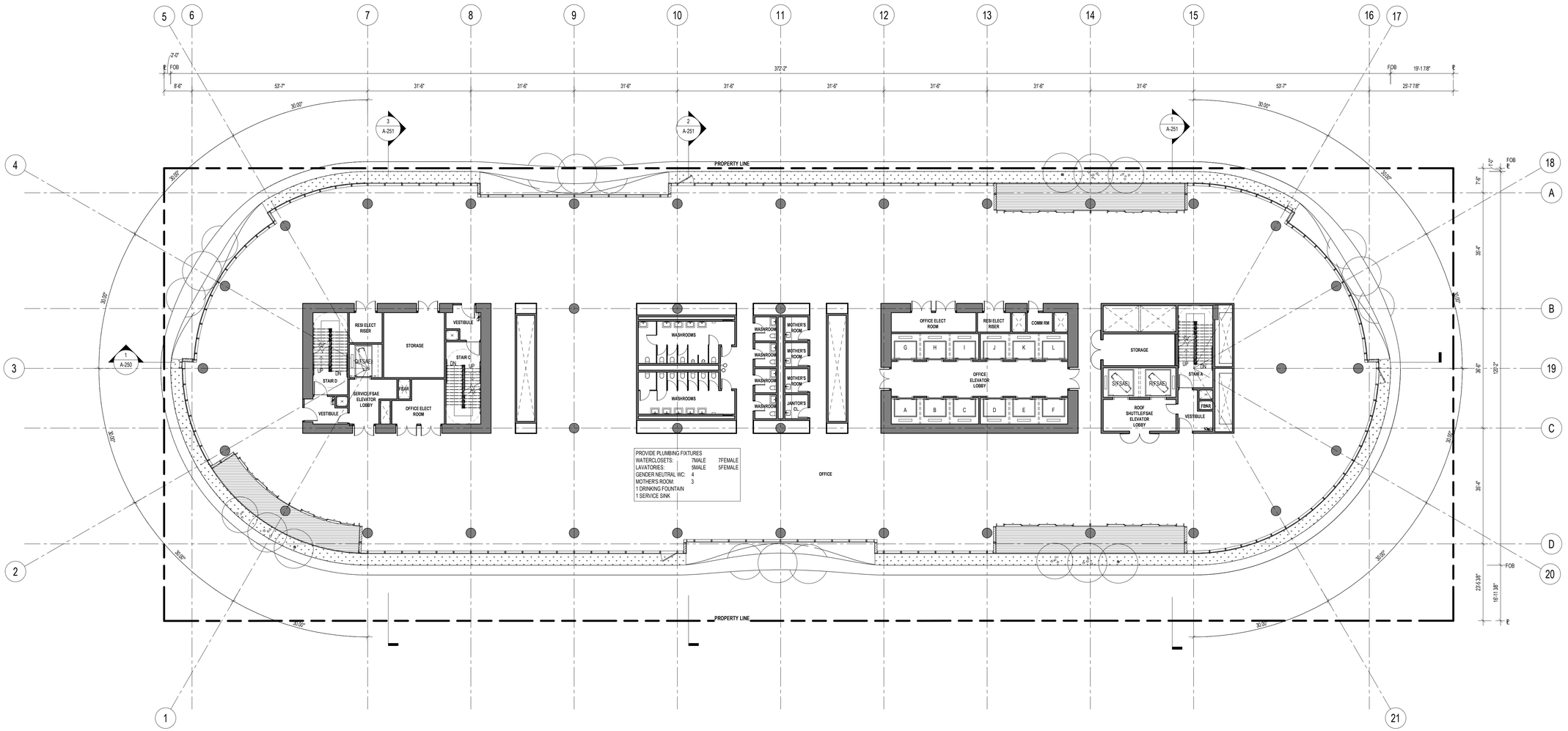
BAR SCALE

SHEET NAME

17TH FLOOR

PROJECT NO	**20508**
DOB NO	**5950**
SCALE	**1/16" = 1'-0"**
FORMAT	**ARCH D**
DATE	**6/1/2020**

SHEET NO **A.117**



SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1681 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1000
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

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NOT FOR CONSTRUCTION

KEY PLAN

BAR SCALE

SHEET NAME

18TH FLOOR

PROJECT NO	20508
DOB NO	5950
SCALE	1/16" = 1'-0"
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO **A.118**

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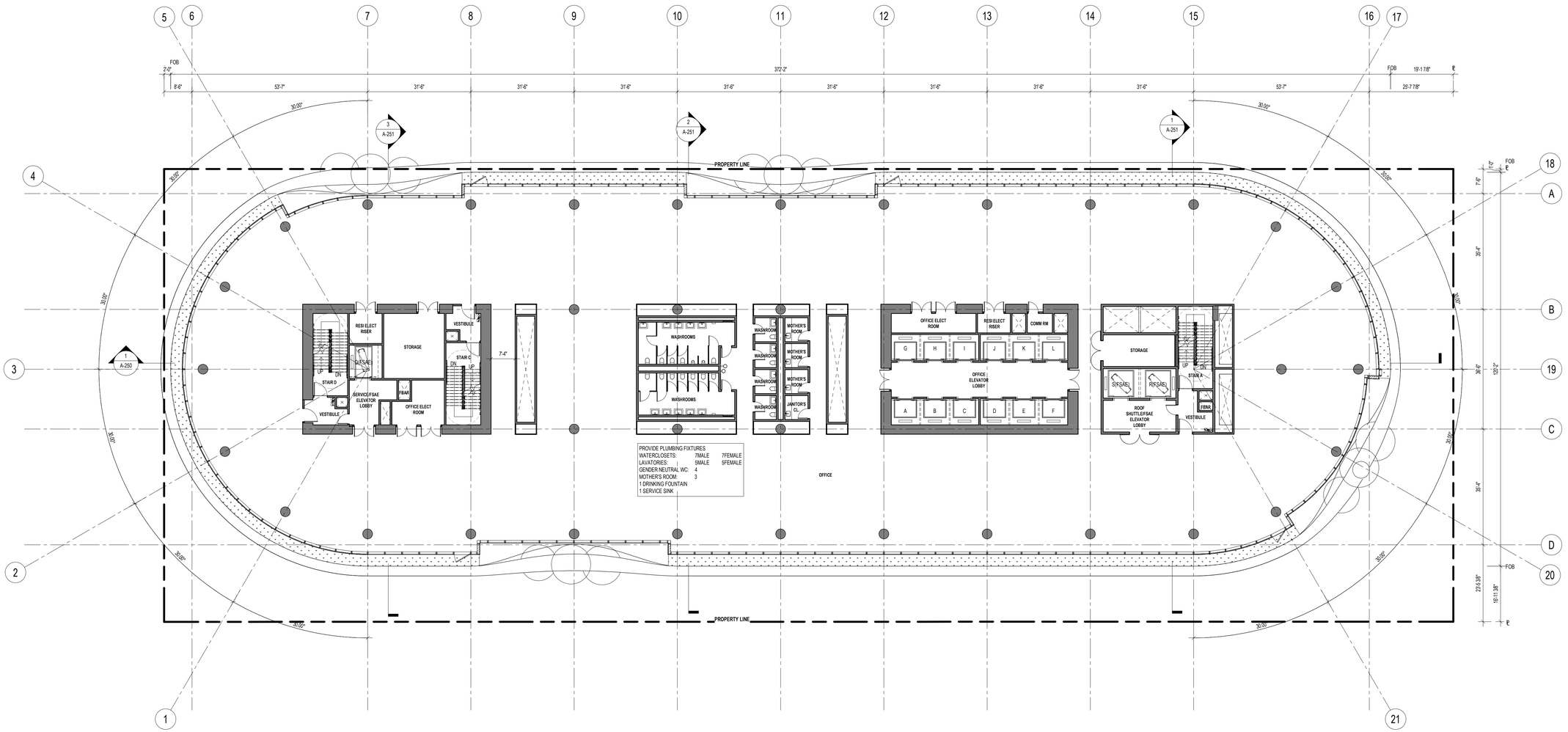

SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1681 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1000
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

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NOT FOR CONSTRUCTION

KEY PLAN

BAR SCALE

SHEET NAME

20TH FLOOR

PROJECT NO	20508
OCB NO	5050
SCALE	1/16" = 1'-0"
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO

A.120

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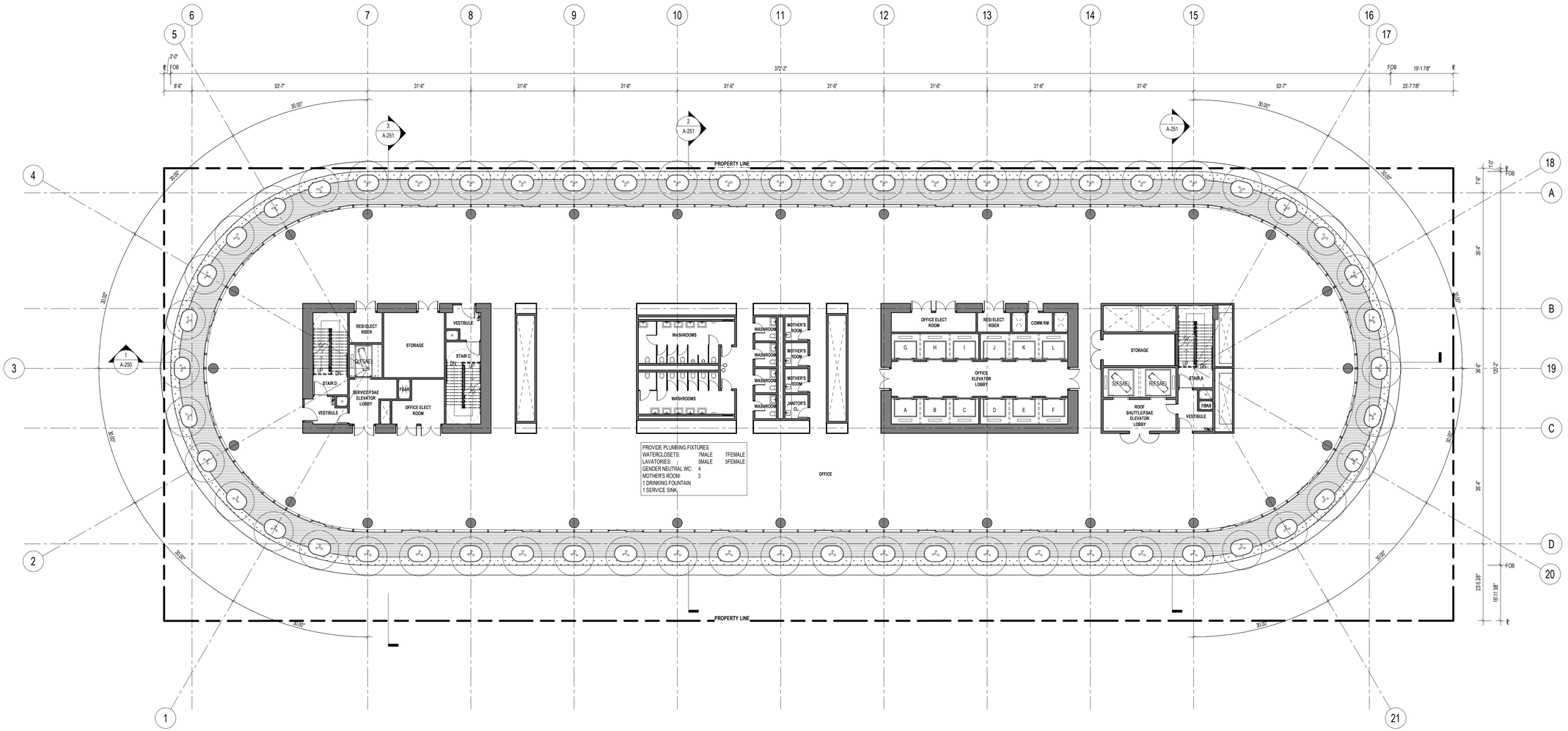

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SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1000
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

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NOT FOR CONSTRUCTION

KEY PLAN

BAR SCALE

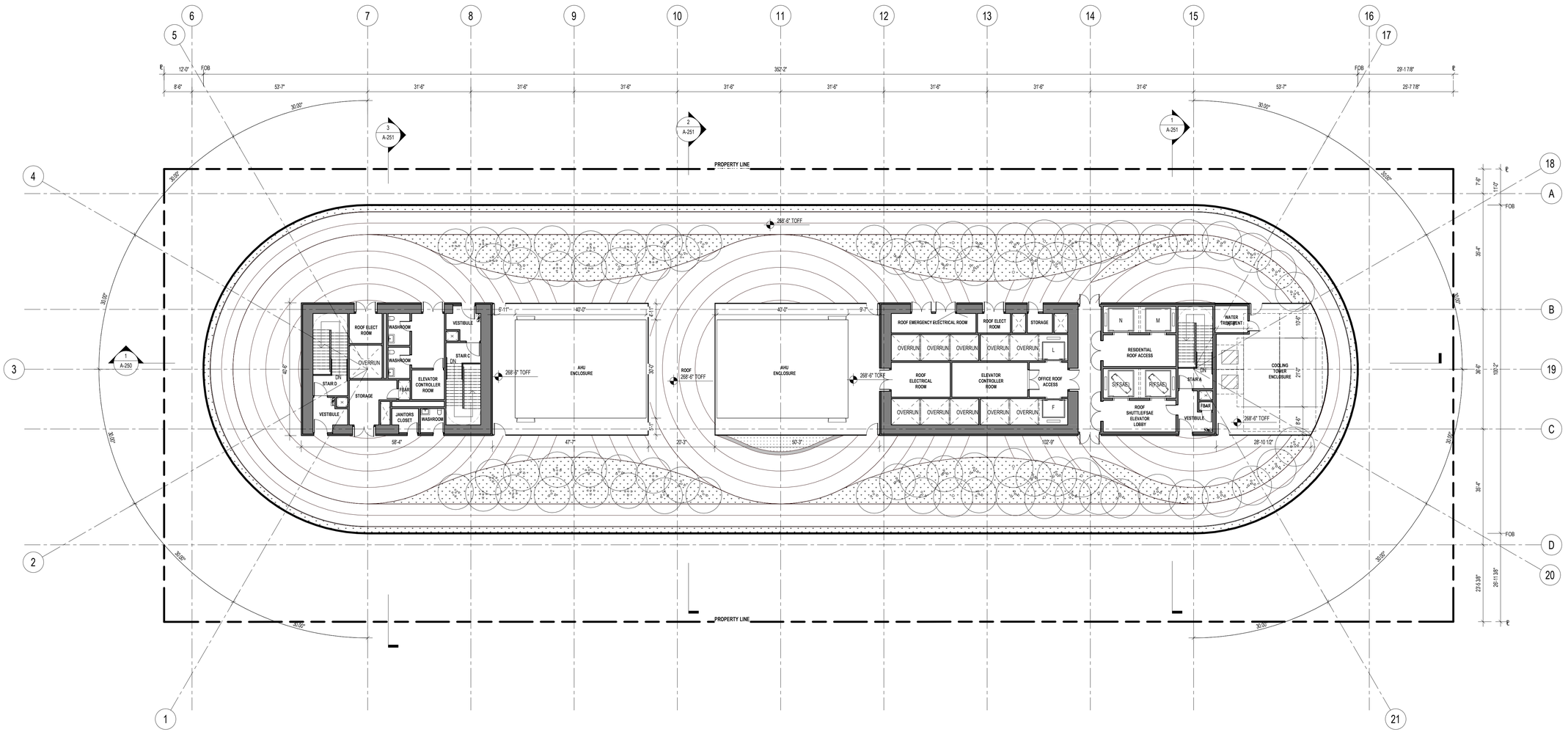
SHEET NAME

21ST FLOOR

PROJECT NO	20508
DOB NO	5050
SCALE	1/16" = 1'-0"
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO

A.121



SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1000
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

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NOT FOR CONSTRUCTION

KEY PLAN

BAR SCALE

SHEET NAME

ROOF TERRACE

PROJECT NO	20508
DOB NO	5050
SCALE	1/16" = 1'-0"
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO **A.122**

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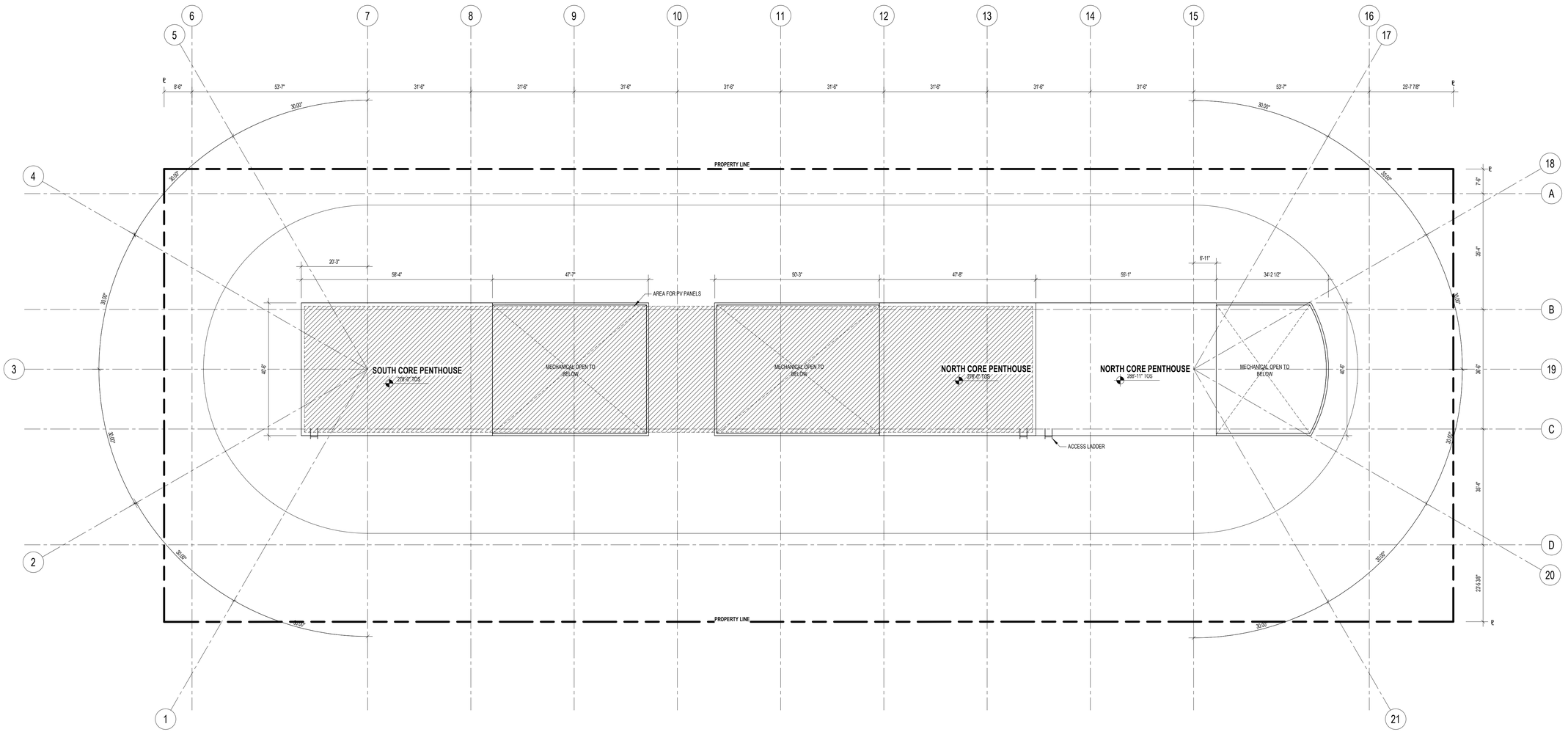

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SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1000
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

NOT FOR CONSTRUCTION

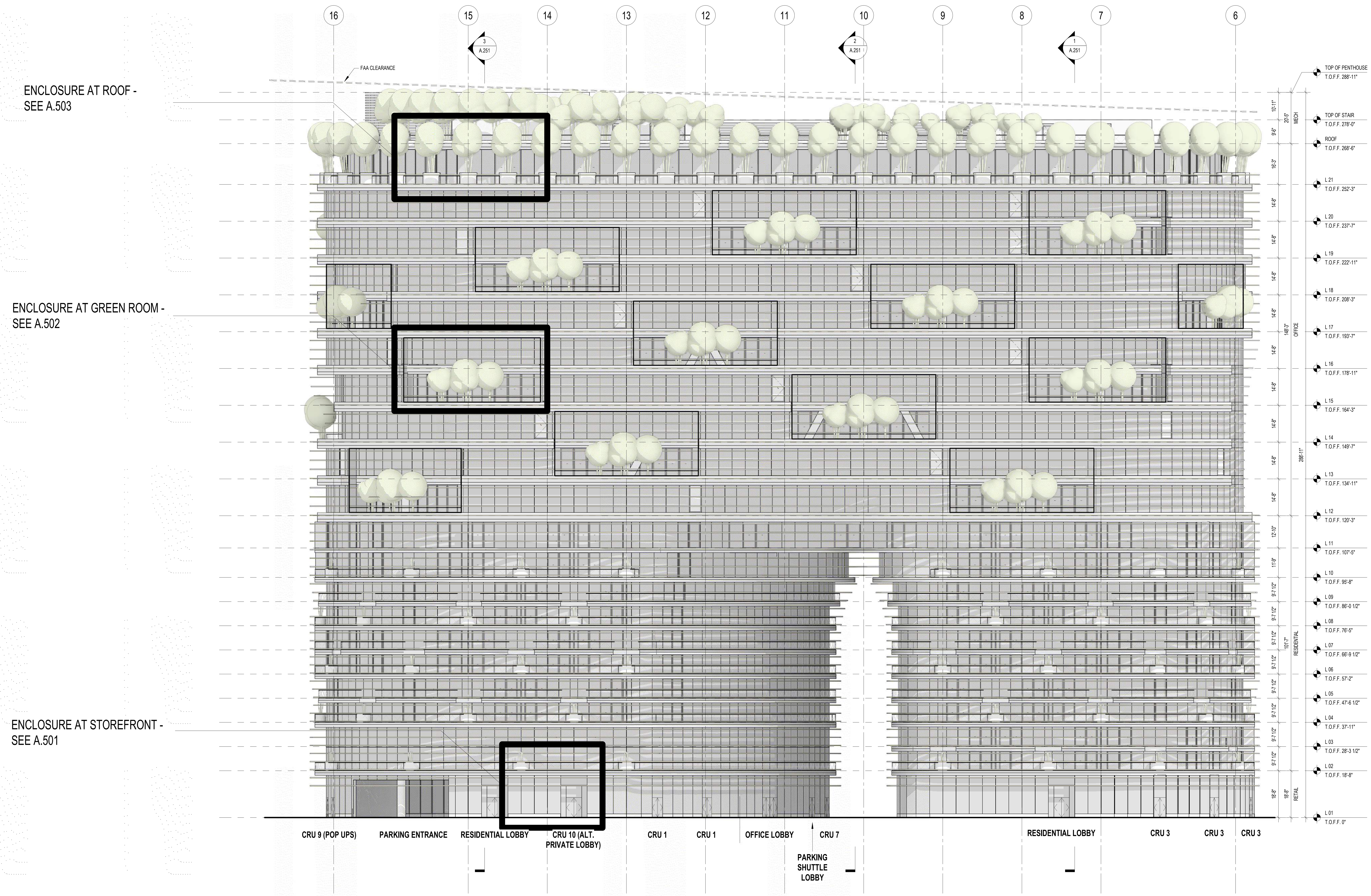
KEY PLAN

BAR SCALE

SHEET NAME

ROOF

PROJECT NO	**20508**
OCB NO	**5050**
SCALE	**1/16" = 1'-0"**
FORMAT	**ARCH D**
DATE	**6/1/2020**
SHEET NO	**A.123**



SAN JOSE FOUNTAIN ALLEY

35 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION**	600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP**	61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT**	3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.**	1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING**	1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.**	2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE**	235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1600
LANDSCAPE ARCHITECT	**BIONIC**	PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN**	1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS**	160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.**	SAN JOSE, CA T +1 408 392 7900

DATE **ISSUE**

SEAL

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

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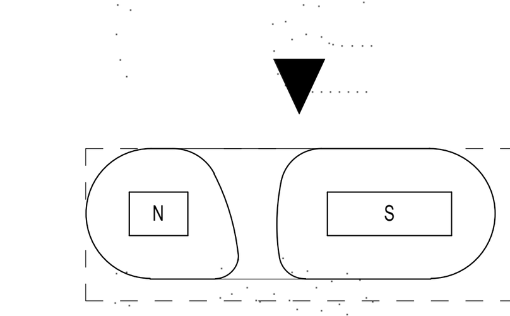
KEY PLAN



BAR SCALE

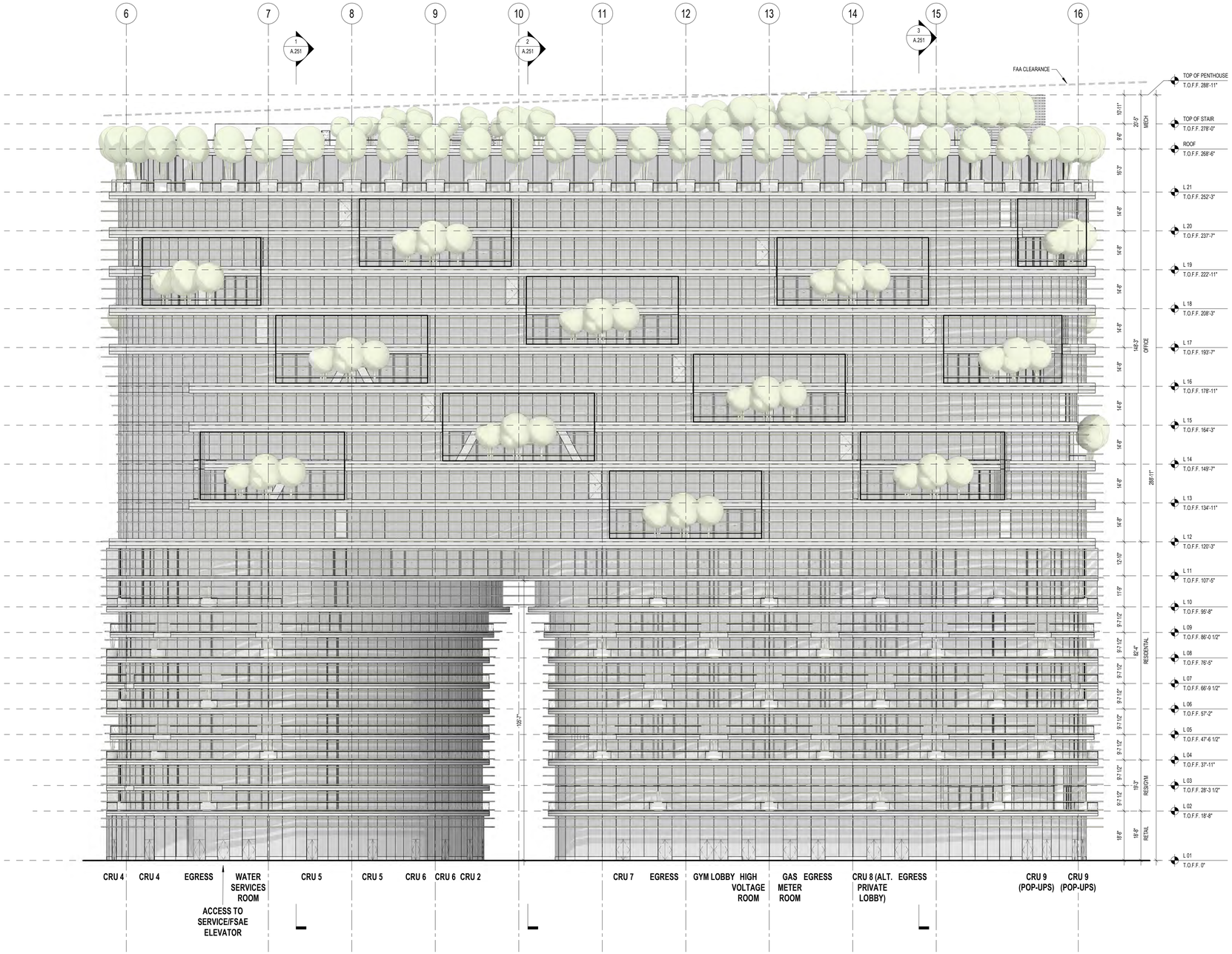
SHEET NAME

EAST ELEVATION

PROJECT NO **20508**
DOB NO **5050**
SCALE **1" = 20'-0"**
FORMAT **ARCH D**
DATE **6/1/2020**

SHEET NO **A.200**

11/16/2020 10:39:36 PM



11/13/2020 12:51:56 PM

SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1681 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1500
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

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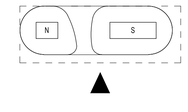
NOT FOR CONSTRUCTION

KEY PLAN



BAR SCALE

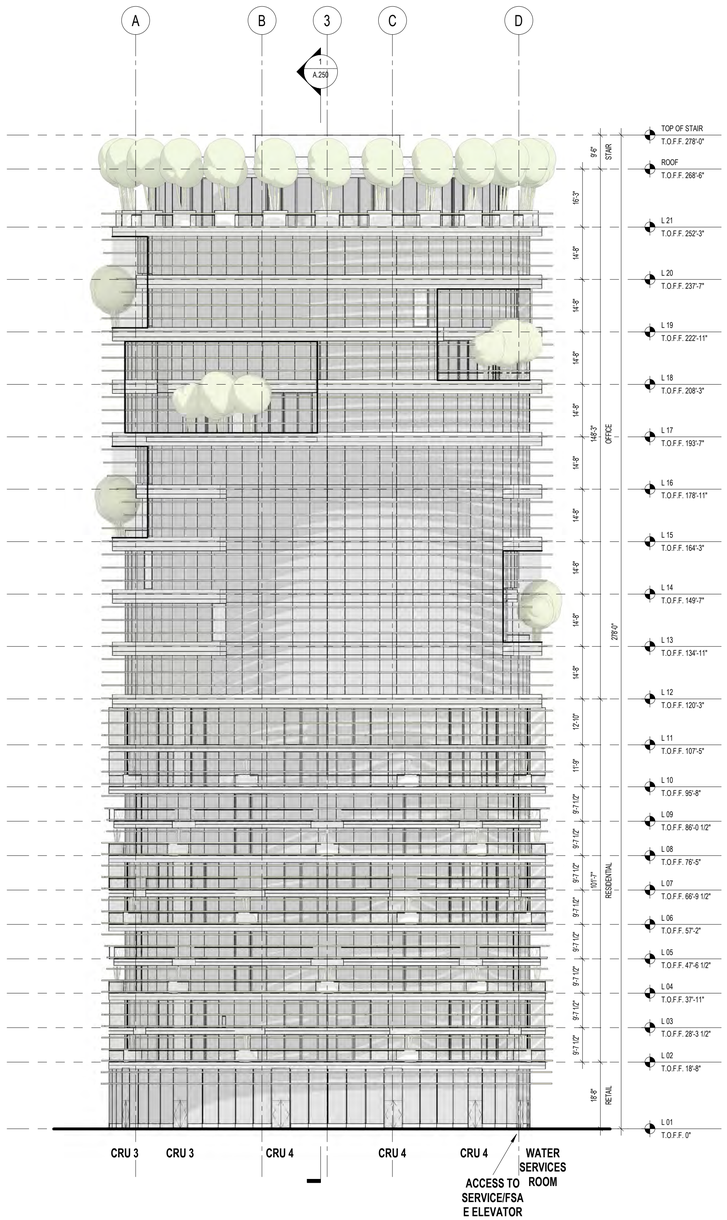
SHEET NAME

WEST ELEVATION

PROJECT NO	20508
DOB NO	5050
SCALE	1" = 20'-0"
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO

A.201



1 NORTH ELEVATION_

A.202
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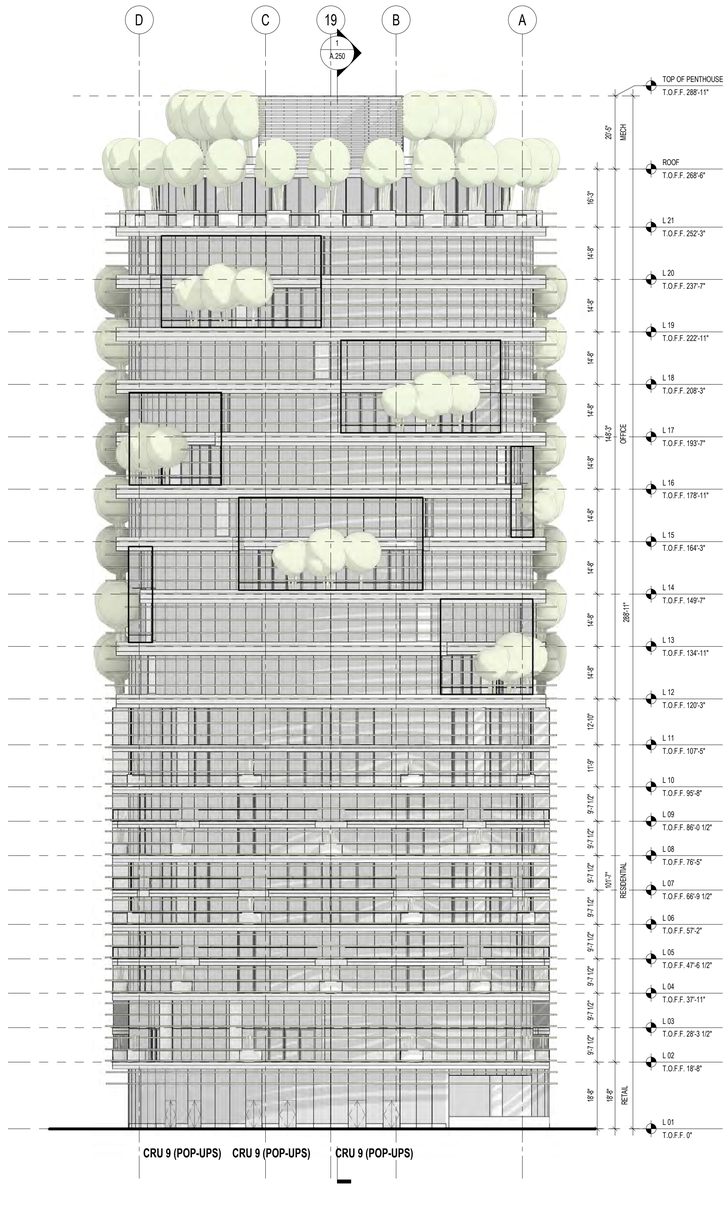

2 SOUTH ELEVATION_

A.202
1" = 20'-0"

SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1500
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

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NOT FOR CONSTRUCTION

KEY PLAN

BAR SCALE

SHEET NAME

NORTH & SOUTH ELEVATION

PROJECT NO **20508**	SHEET NO
DOB NO **5050**	**A.202**
SCALE **1" = 20'-0"**	
FORMAT **ARCH D**	
DATE **6/1/2020**	

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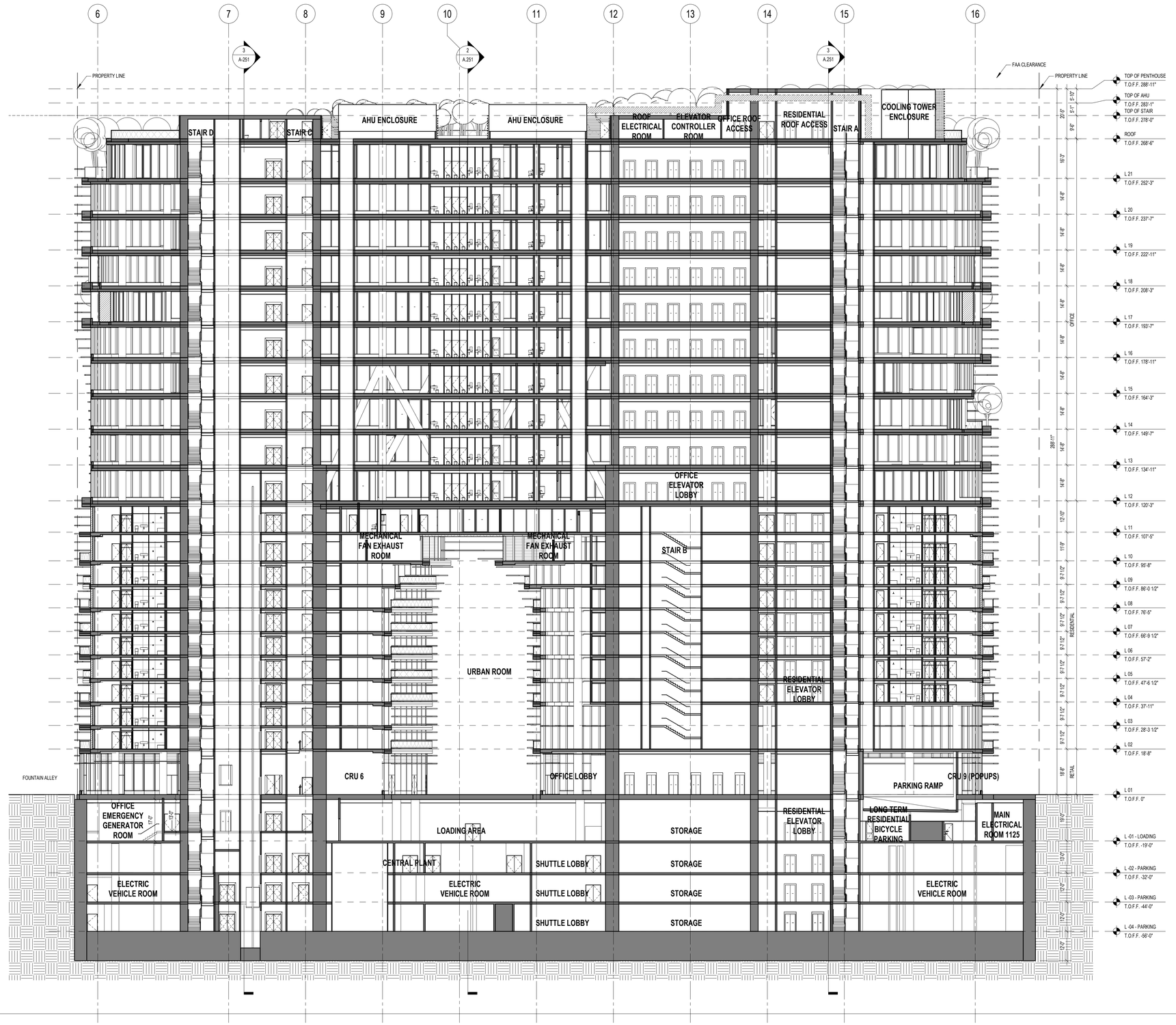

11/13/2020 12:56:09 PM

SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
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DATE	ISSUE

SEAL

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KEY PLAN

BAR SCALE

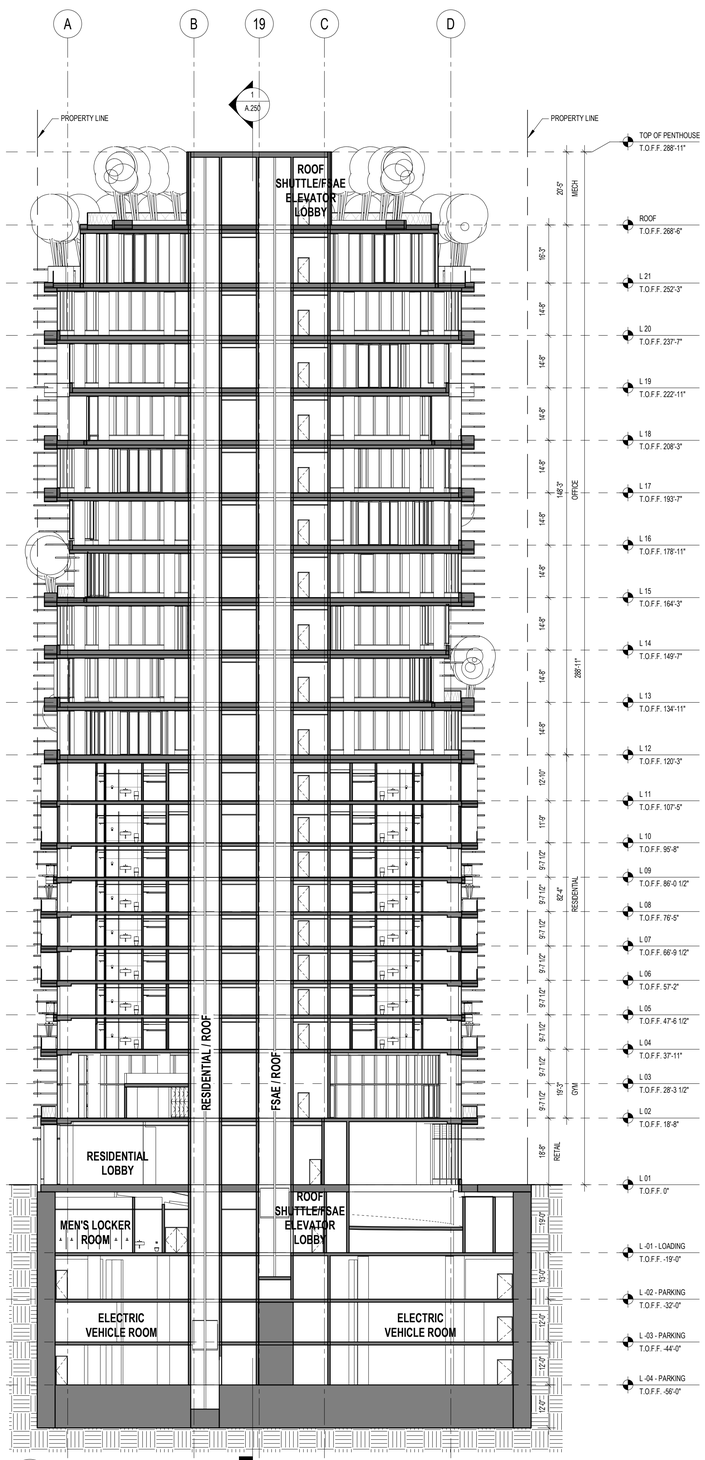
SHEET NAME

SECTION N-S

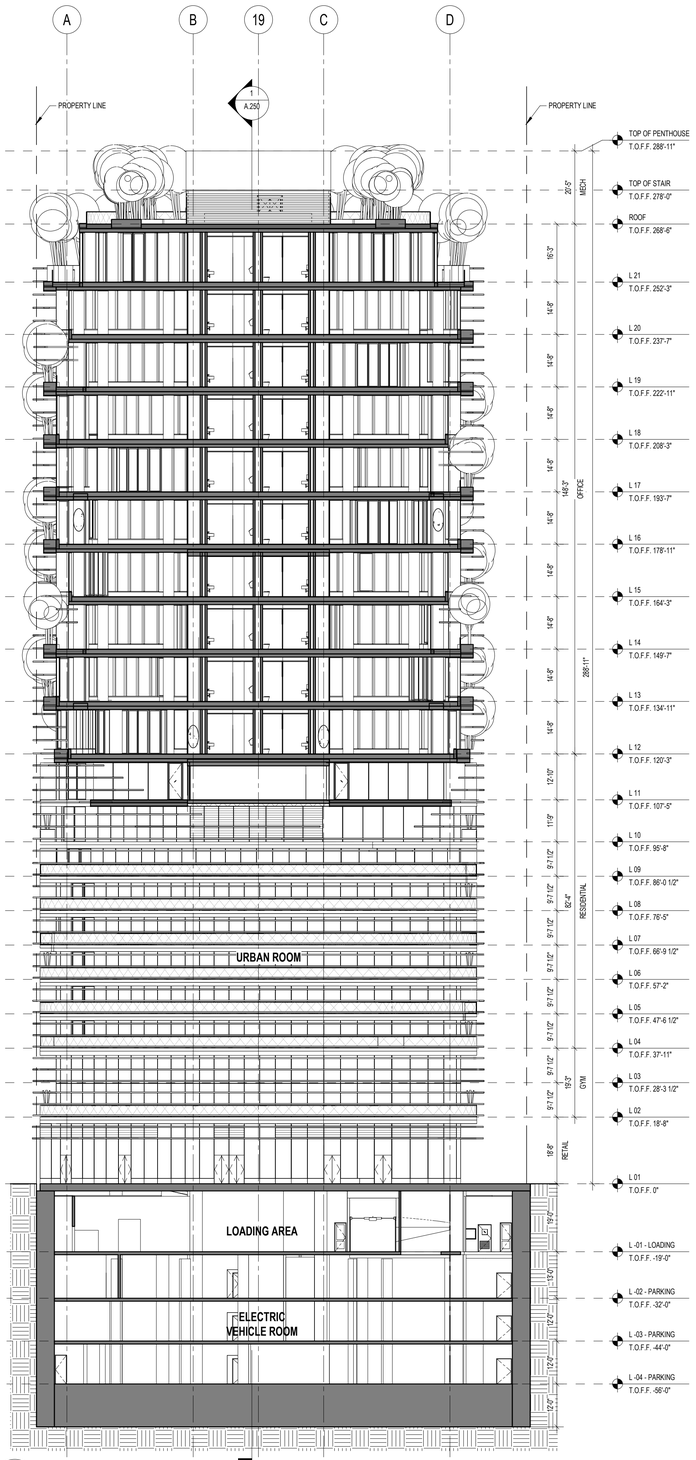
PROJECT NO	20508
DOB NO	5050
SCALE	1" = 20'-0"
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO

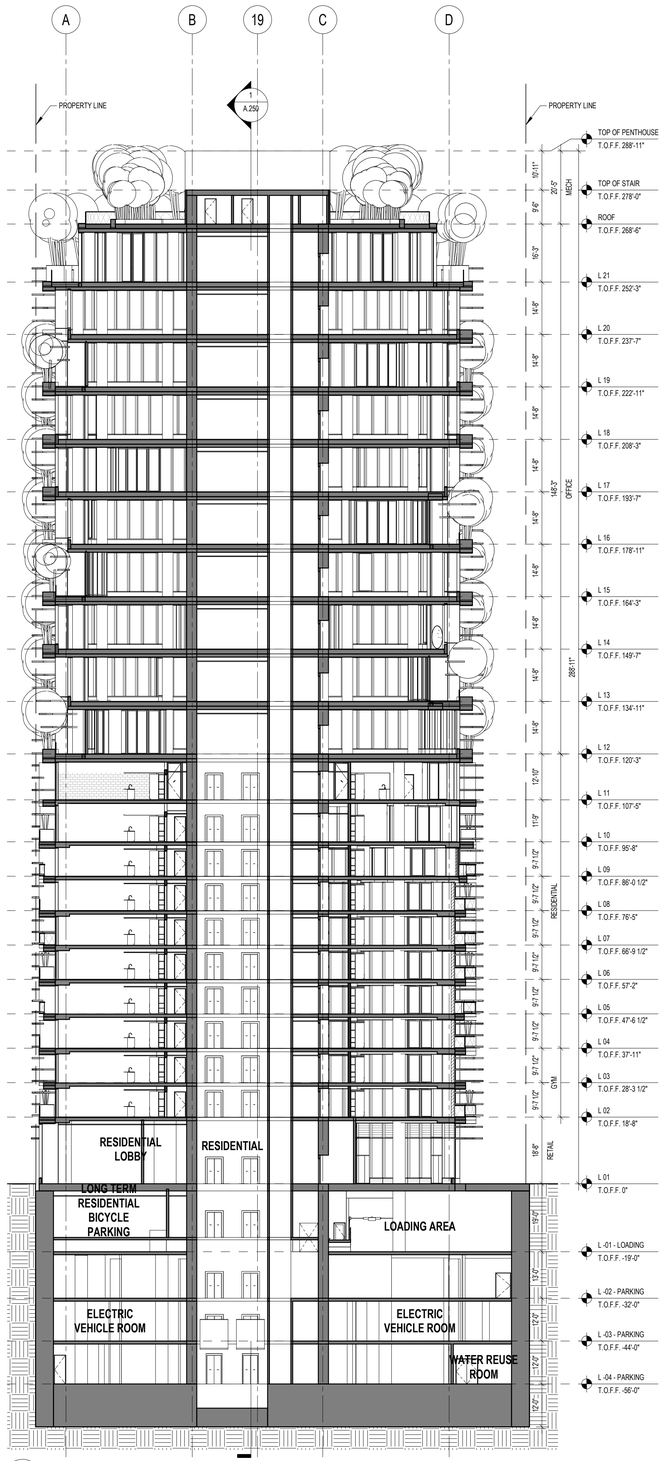
A.250



3 E-W SECTION @ SOUTH CORE
A.251
1" = 20'-0"



2 E-W SECTION @ URBAN ROOM
A.251
1" = 20'-0"



1 E-W SECTION @ NORTH CORE
A.251
1" = 20'-0"

11/13/2020 12:46:15 PM

SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
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TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

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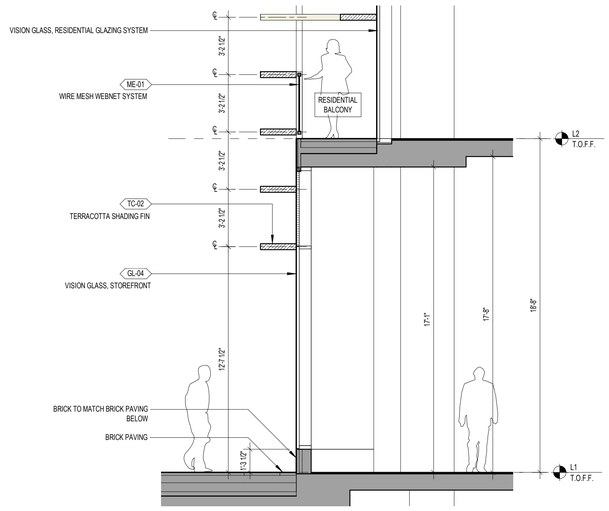
KEY PLAN

BAR SCALE

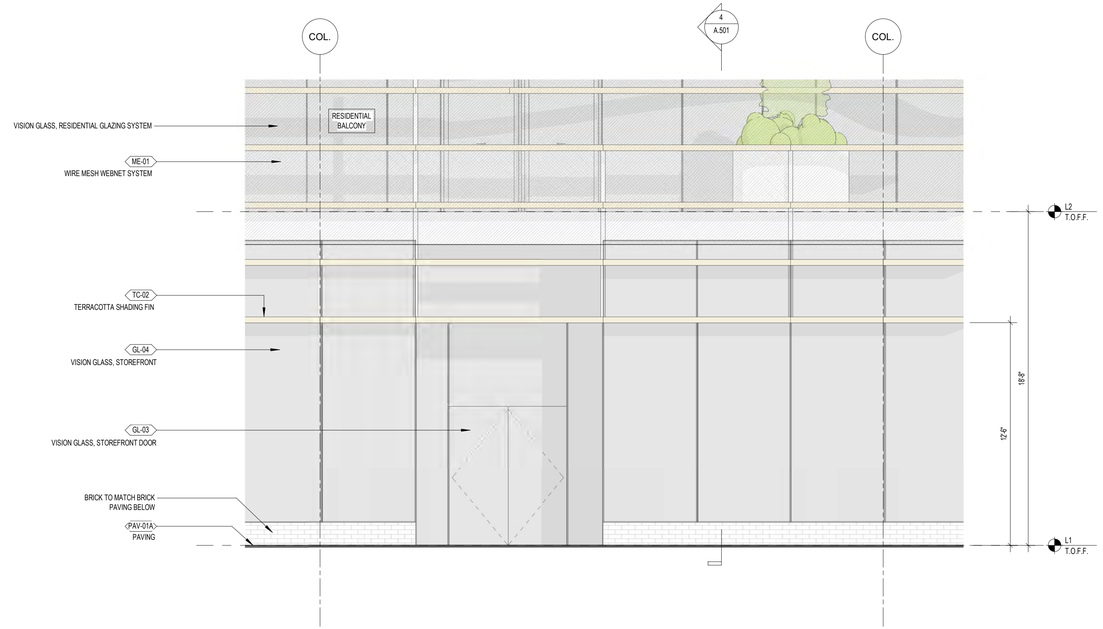
SHEET NAME

SECTION E-W

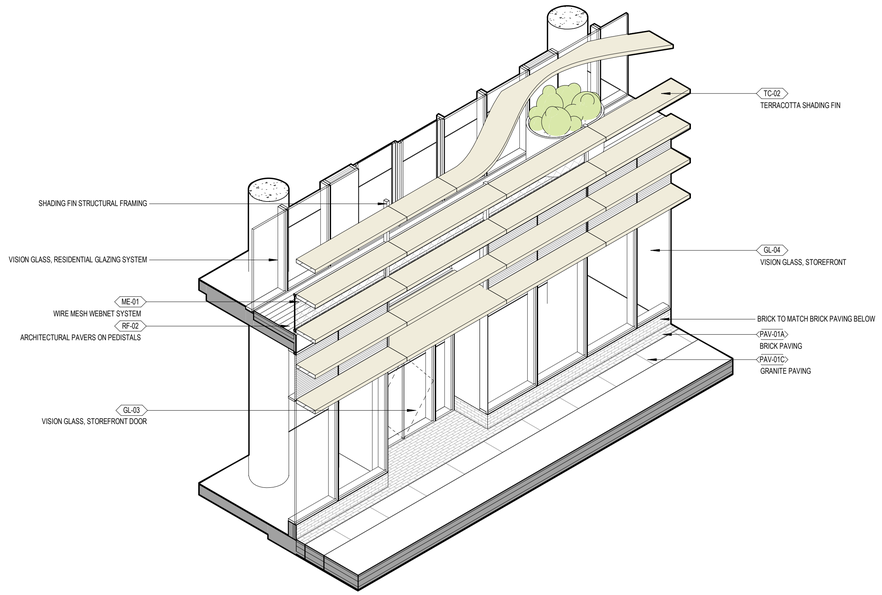
PROJECT NO	SHEET NO
20508	A.251
DOB NO	
5050	
SCALE	
1" = 20'-0"	
FORMAT	
ARCH D	
DATE	
6/1/2020	



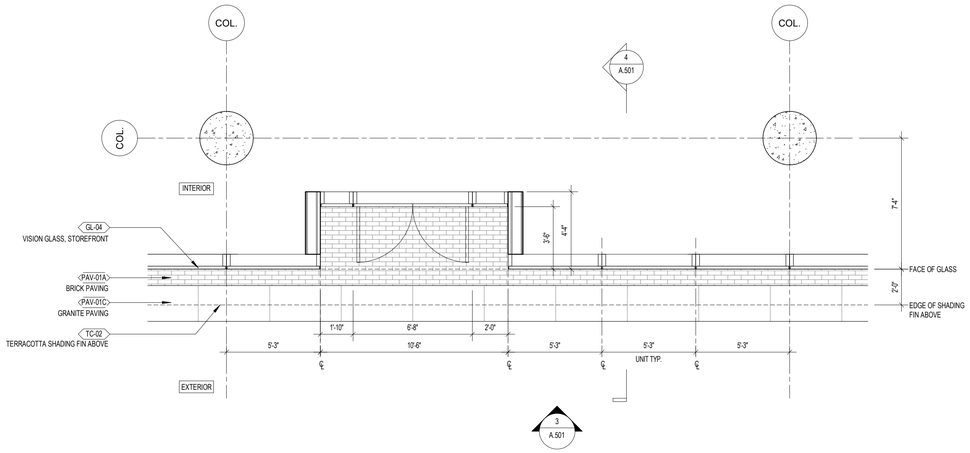
4 STOREFRONT @ RETAIL - PARTIAL SECTION
A.501
1/4" = 1'-0"



3 STOREFRONT @ RETAIL PARTIAL ELEVATION
A.501
1/4" = 1'-0"



2 STOREFRONT @ RETAIL PARTIAL AXO
A.501



1 STOREFRONT @ RETAIL PARTIAL FLOOR PLAN
A.501
1/4" = 1'-0"

10/13/2020 1:23:10 PM

SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
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PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE

SEAL

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KEY PLAN

N

BAR SCALE

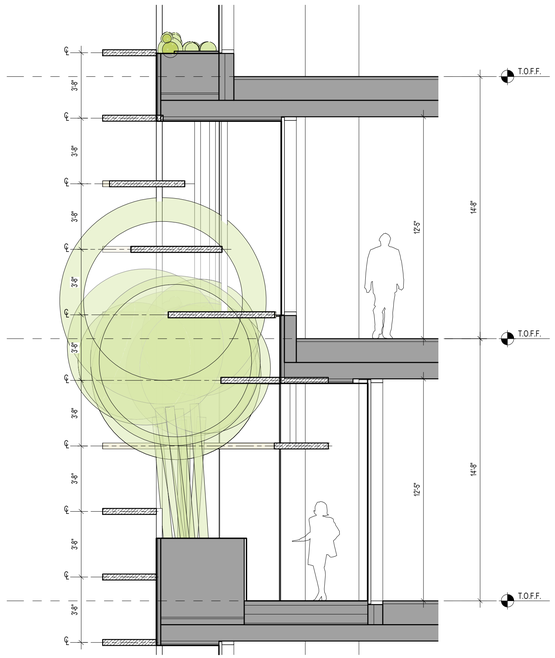
SHEET NAME

STOREFRONT

PROJECT NO	**20508**
DOB NO	**5050**
SCALE	**1/4" = 1'-0"**
FORMAT	**ARCH D**
DATE	**6/1/2020**

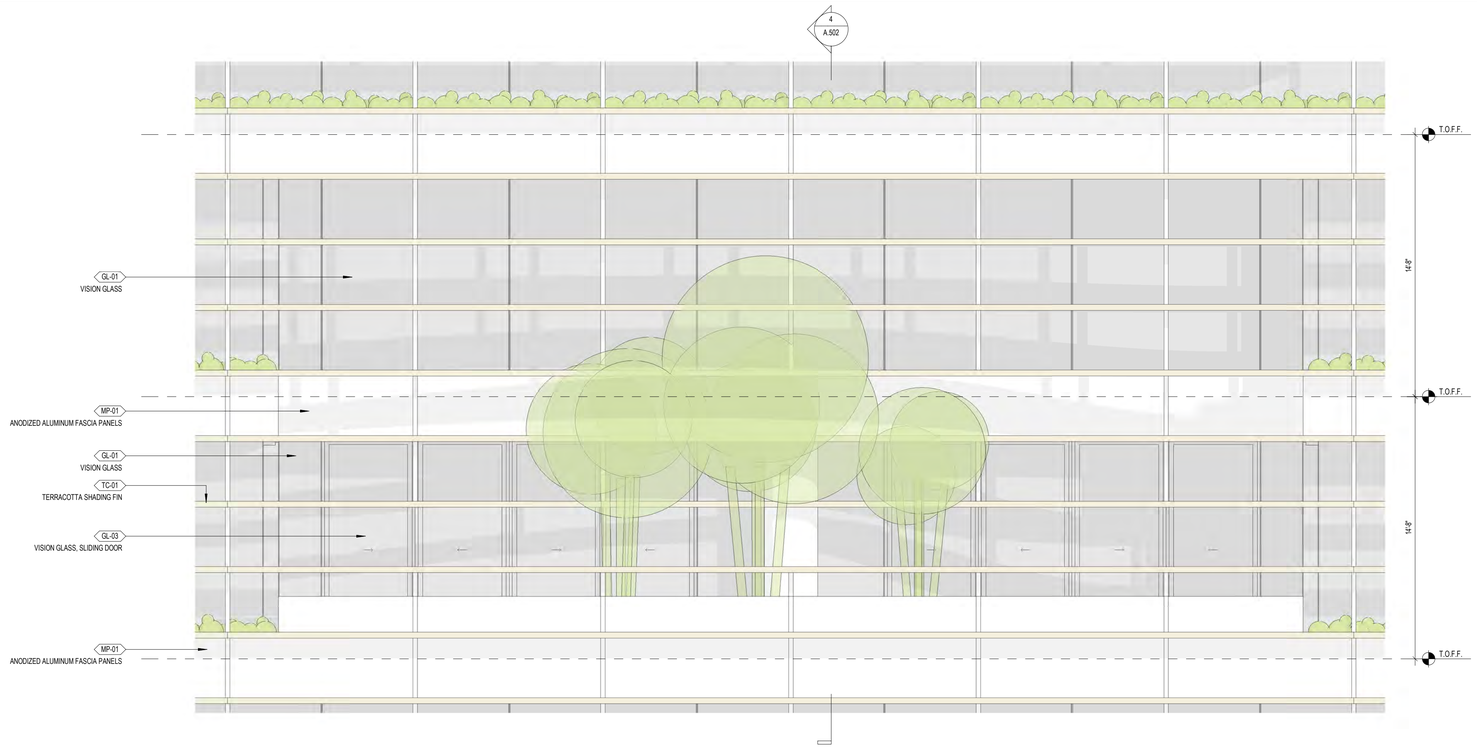
SHEET NO

A.501



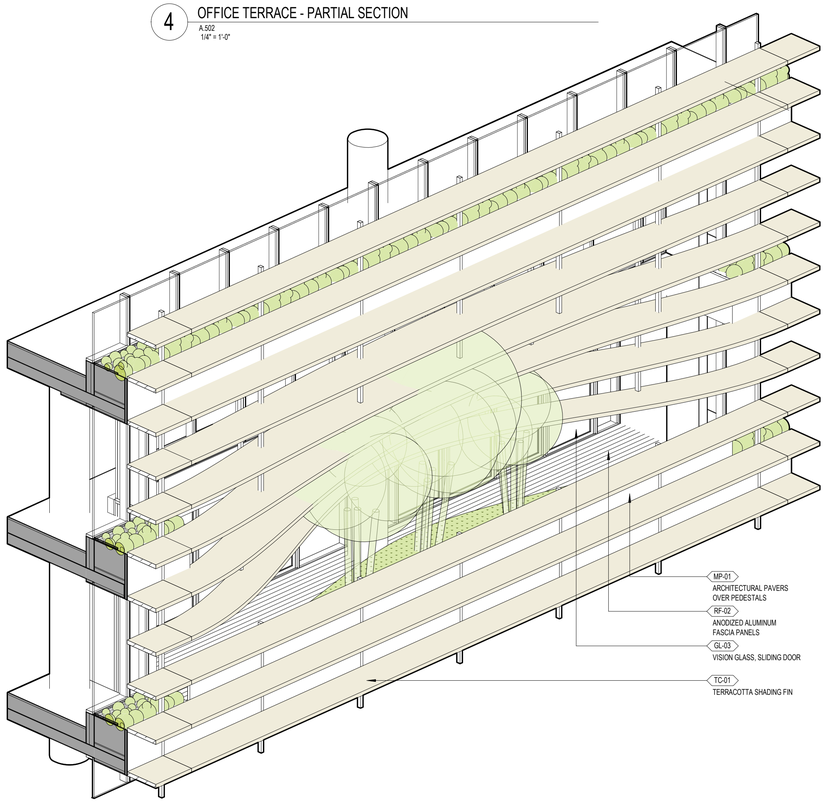
4 OFFICE TERRACE - PARTIAL SECTION

A.502
1/4" = 1'-0"



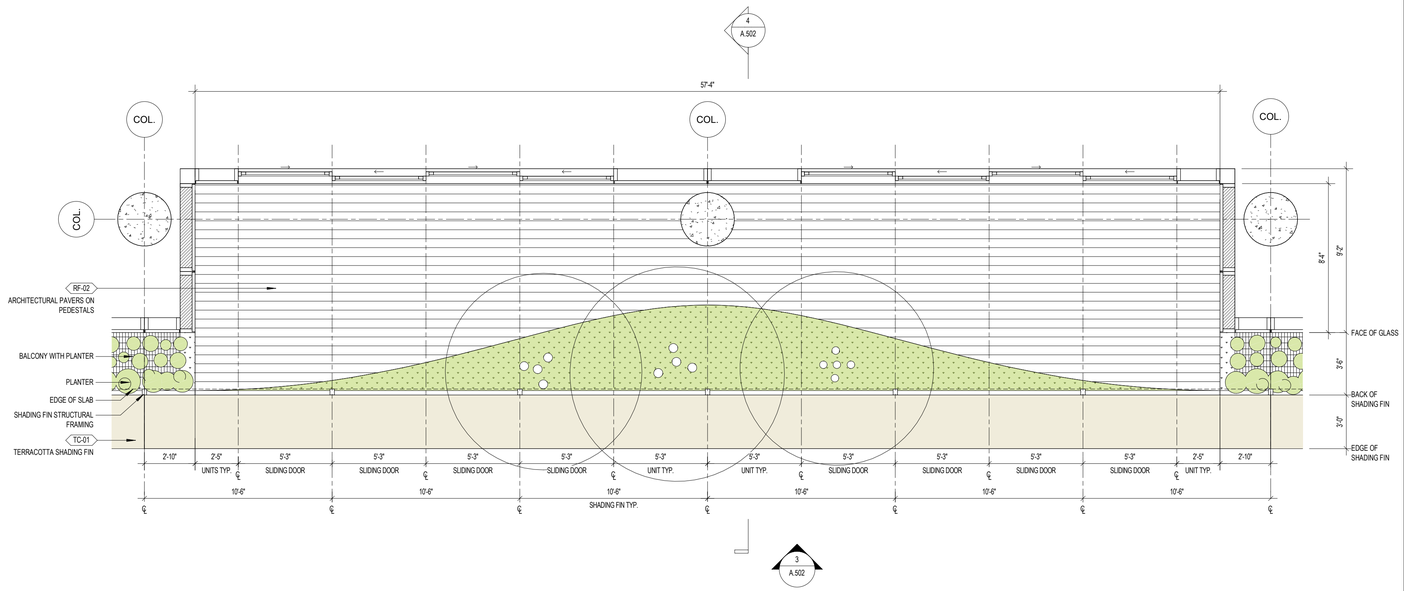
3 OFFICE TERRACE PARTIAL ELEVATION

A.502
1/4" = 1'-0"



2 OFFICE TERRACE PARTIAL AXO

A.502



1 OFFICE TERRACE PARTIAL FLOOR PLAN

A.502
1/4" = 1'-0"

11/13/2020 1:24:08 PM

SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
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TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
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SEAL

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NOT FOR CONSTRUCTION

KEY PLAN

BAR SCALE

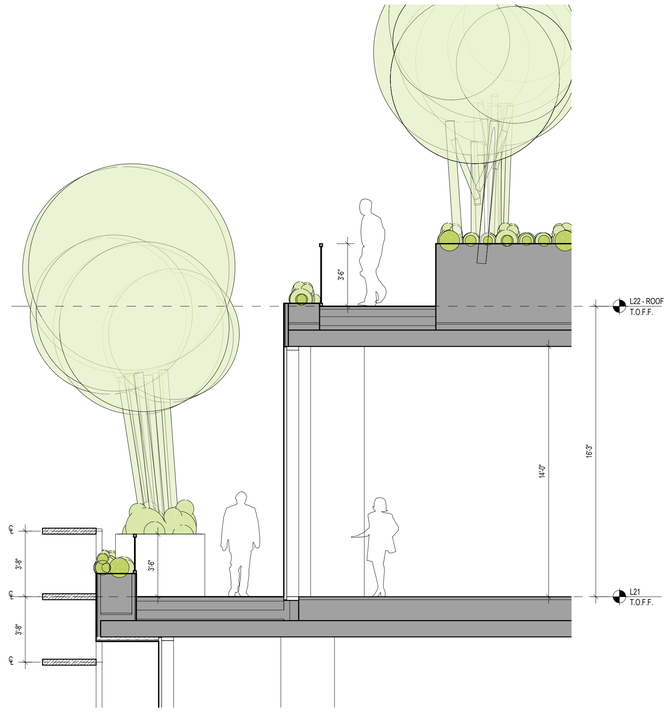
SHEET NAME

GREEN ROOM

PROJECT NO	**20508**
DOB NO	**5050**
SCALE	**1/4" = 1'-0"**
FORMAT	**ARCH D**
DATE	**6/1/2020**

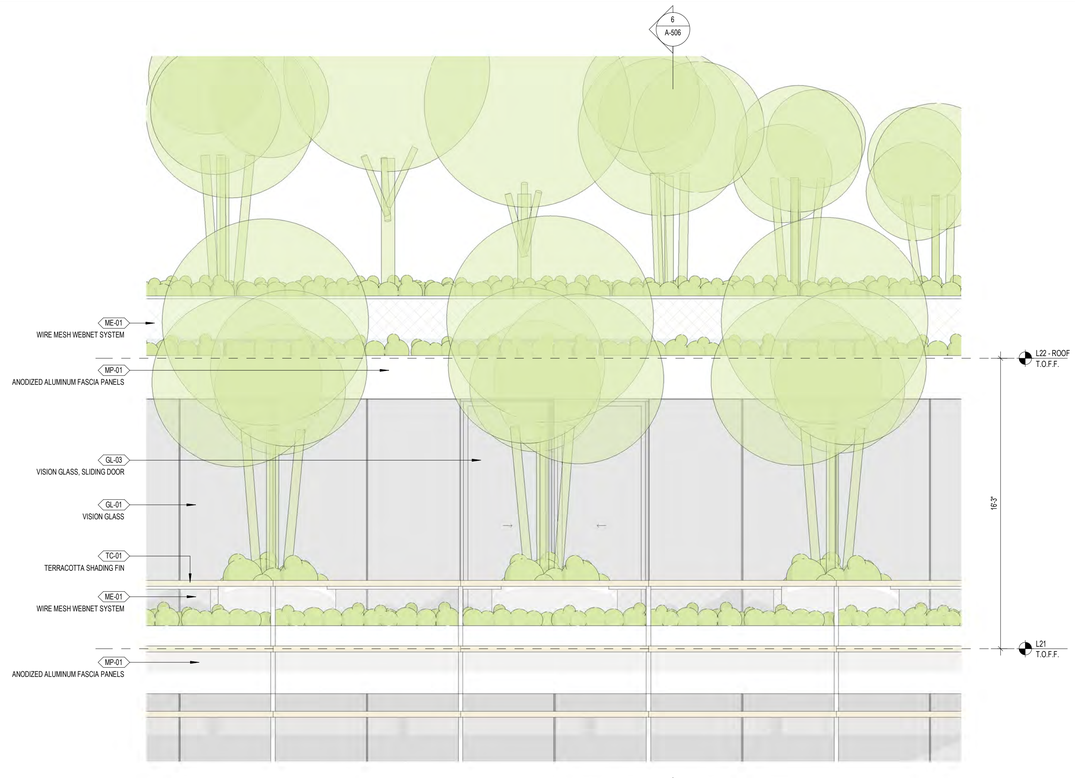
SHEET NO

A.502



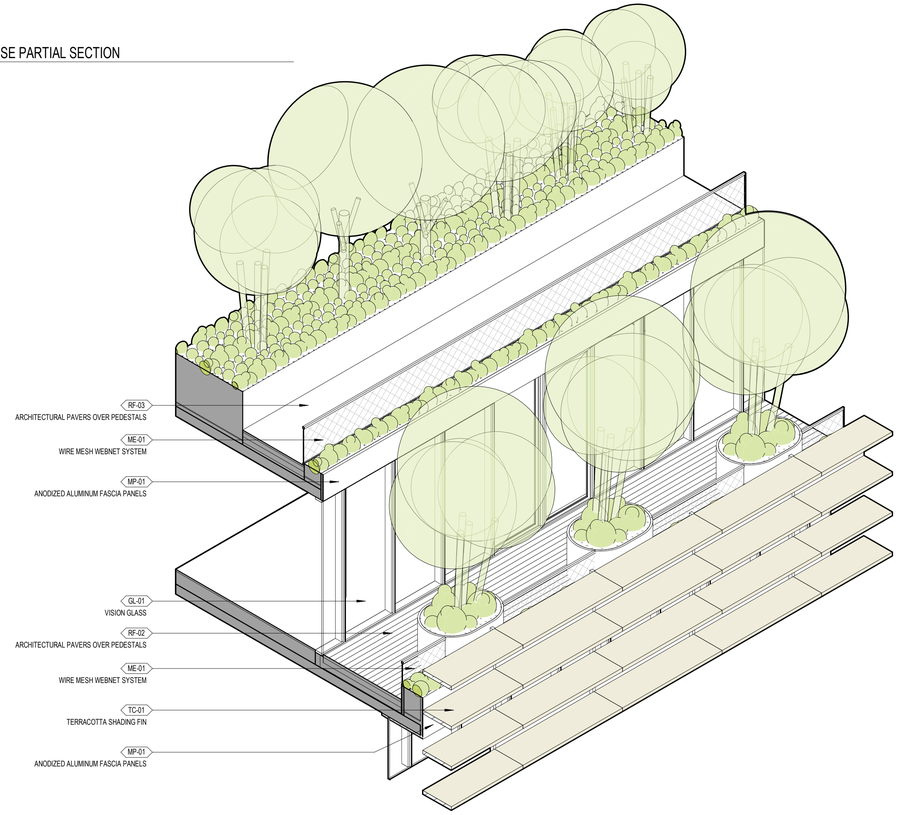
4 ROOF PENTHOUSE PARTIAL SECTION

A.503
1/4" = 1'-0"



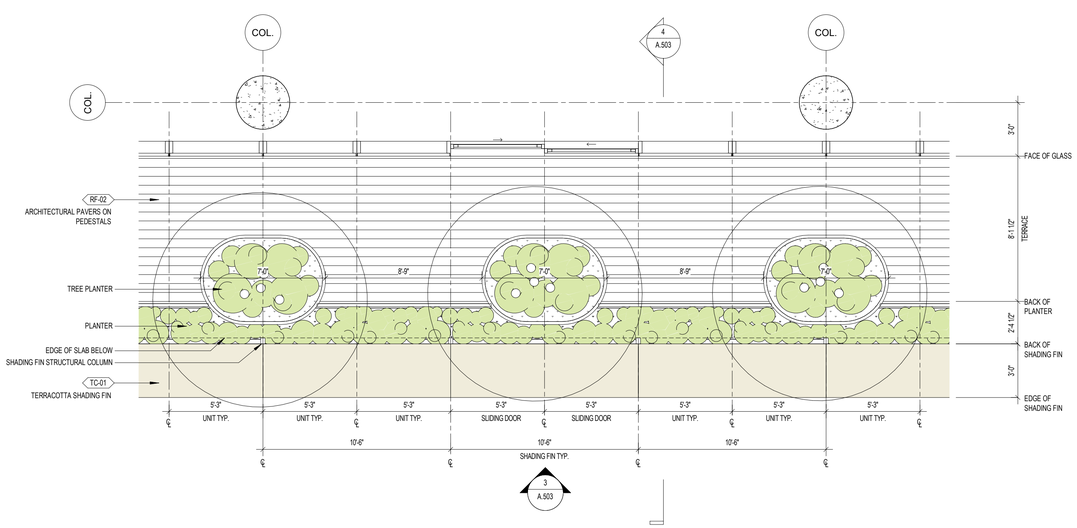
3 ROOF PENTHOUSE PARTIAL ELEVATION

A.503
1/4" = 1'-0"



2 ROOF PENTHOUSE PARTIAL AXO

A.503



1 ROOF PENTHOUSE PARTIAL FLOOR PLAN

A.503
1/4" = 1'-0"

SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

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SEAL

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KEY PLAN

BAR SCALE

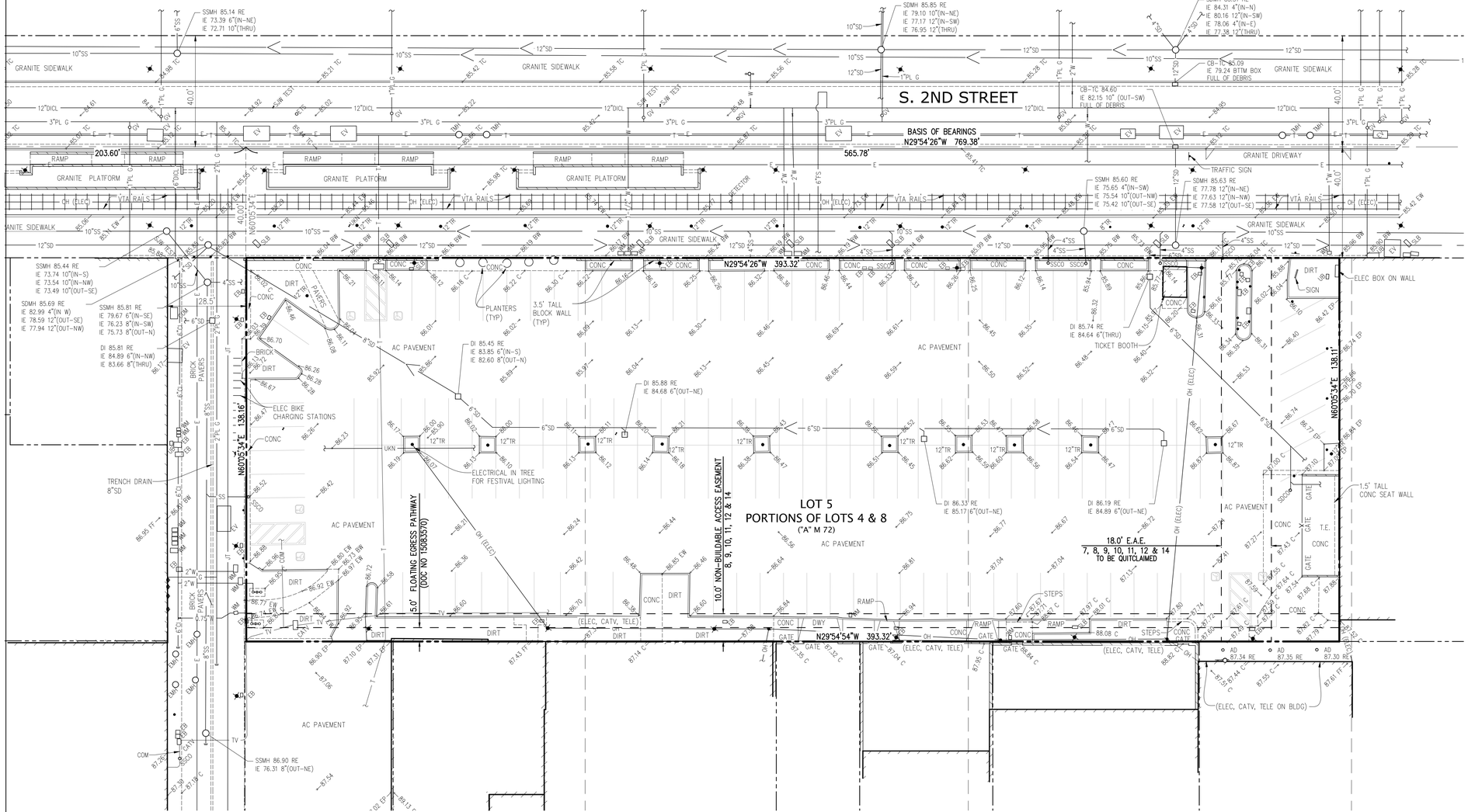
SHEET NAME

ROOF

PROJECT NO	**20508**
DOB NO	**5050**
SCALE	**1/4" = 1'-0"**
FORMAT	**ARCH D**
DATE	**6/1/2020**

SHEET NO **A.503**

11/13/2020 1:26:45 PM



ABBREVIATIONS

BW	BACK OF WALK
CONC	CONCRETE
COM	COMMUNICATION
CI	CAST IRON
DICL	DUCTILE IRON CEMENT LINED
DOC NO	DOCUMENT NUMBER
E.A.E.	EMERGENCY ACCESS EASEMENT
EB	ELECTRIC BOX
ELEC	ELECTRICAL
EP	EDGE OF PAVEMENT
EW	EDGE OF WALK
JT	JOINT TRENCH
L/S	LANDSCAPE
OH	OVERHEAD LINE
PED	PEDESTAL
SLB	STREET LIGHT BOX
SDCO	STORM DRAIN CLEANOUT
SSCO	SANITARY SEWER CLEANOUT
SS	SANITARY SEWER
TB	TELEPHONE BOX
T.E.	TRASH ENCLOSURE
TR	TREE
WM	WATER METER
UB	UTILITY BOX
UNK	UNKNOWN

LEGEND

- BUILDING LINE
- COMMUNICATION LINE
- CONCRETE/BLOCK WALL
- CONCRETE CURB
- CONCRETE CURB & GUTTER
- DRIVEWAY
- EASEMENT LINE
- EDGE OF PAVEMENT
- ELECTRIC LINE
- FENCE LINE
- GAS LINE-VALVE & METER
- JOINT TRENCH LINE
- FORMER LOT LINE
- LOT LINE
- MONUMENT/MONUMENT LINE
- MONUMENT TIE LINE
- OVERHEAD POWER LINE
- PROPERTY LINE
- VTA TRACKS
- SANITARY SEWER LINE-MANHOLE & CLEANOUT
- SANITARY SEWER LINE OVER 24"DIAMETER
- SIDEWALK
- SPOT ELEVATION
- STORM DRAIN LINE OVER 24"DIAMETER
- STORM DRAIN LINE-MANHOLE & CATCH BASIN
- STORM DRAIN LINE-MANHOLE & CATCH BASIN
- WATER LINE & VALVE
- ACCESSIBLE PARKING SYMBOL
- AREA DRAIN
- BACKFLOW PREVENTION DEVICE
- ELECTROLIER
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- GAS METER
- POWER POLE/JOINT POLE
- TRAFFIC SIGN
- TREE
- UTILITY BOX
- WALK-BOLLARD LIGHT
- WATER VALVE

NOTES

1. THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SANTA CLARA COUNTY, CALIFORNIA, MAP NUMBER 06085C0234H FOR COMMUNITY NUMBER 060349 (CITY OF SAN JOSE), WITH AN EFFECTIVE DATE OF MAY 18, 2009, AS BEING LOCATED IN FLOOD ZONE "D". ACCORDING TO FEMA THE DEFINITION OF ZONE "D" IS: AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE.

   FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.

2. BENCHMARK:
   CITY OF SAN JOSE BENCHMARK 126-D; SET VERTICALLY IN THE WEST GRANITE BLOCK WALL, 1.5 FT. SOUTH IF NORTHWEST CORNER OF BANK OF AMERICA BUILDING, SOUTHEAST OF SANTA CLARA ST. AND FIRST ST.
   ELEVATION: 91.963 FEET (NAVD 88)

6. BASIS OF BEARINGS:
   THE BEARING OF NORTH 29° 54' 26" WEST TAKEN ON THE MONUMENT LINE OF SECOND STREET AS SHOWN ON THAT CERTAIN RECORD OF SURVEY, FILED FOR RECORD ON DECEMBER 2, 1985, IN BOOK 552 OF MAPS AT PAGES 26-32, OFFICIAL RECORDS OF SANTA CLARA COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

JULY 7, 2020
PREPARED BY OR UNDER THE SUPERVISION OF DATE
RYAN A. AMAYA P.L.S. 8134

LICENSED LAND SURVEYOR
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PARKING
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10/29/2020 100% DD SET
DATE ISSUE

SEAL
REGISTERED PROFESSIONAL ENGINEER
MARK A. KNUDSEN
75828
CIVIL
STATE OF CALIFORNIA

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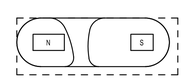
NOT FOR CONSTRUCTION

KEY PLAN
(NTS)



BAR SCALE

SHEET NAME
EXISTING CONDITIONS PLAN

PROJECT NO A20055
DOB NO
SCALE 1"=20'
FORMAT ARCH D
DATE

SHEET NO
C1.01

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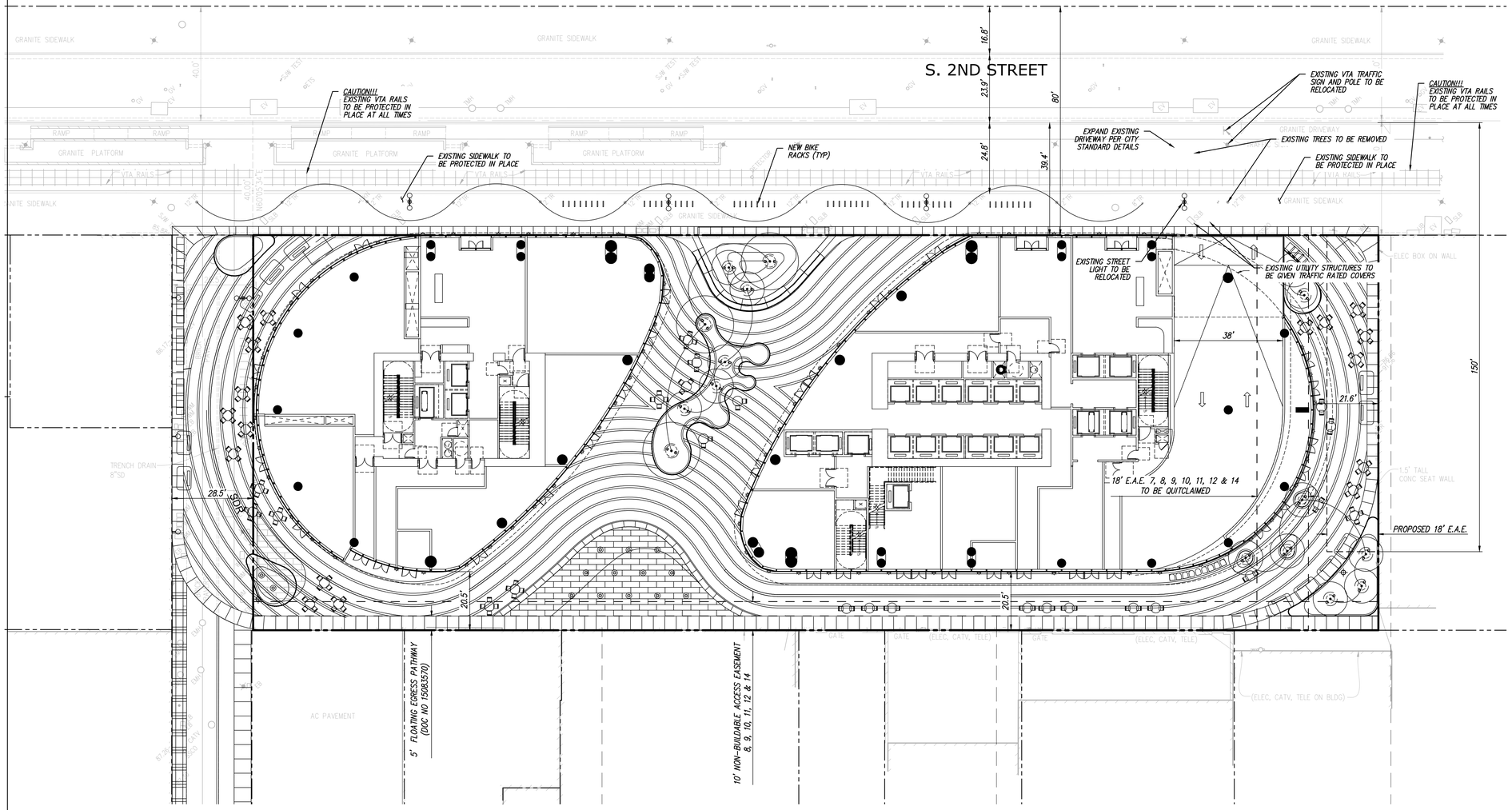

NORTH

0 10 20 40 60

Scale 1" = 20'

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10/29/2020 100% DD SET
DATE ISSUE

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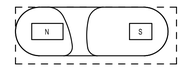

BAR SCALE

SHEET NAME
PRELIMINARY CIVIL SITE PLAN

PROJECT NO A20055
DOB NO
SCALE 1"=20'
FORMAT ARCH D
DATE

SHEET NO
C2.01

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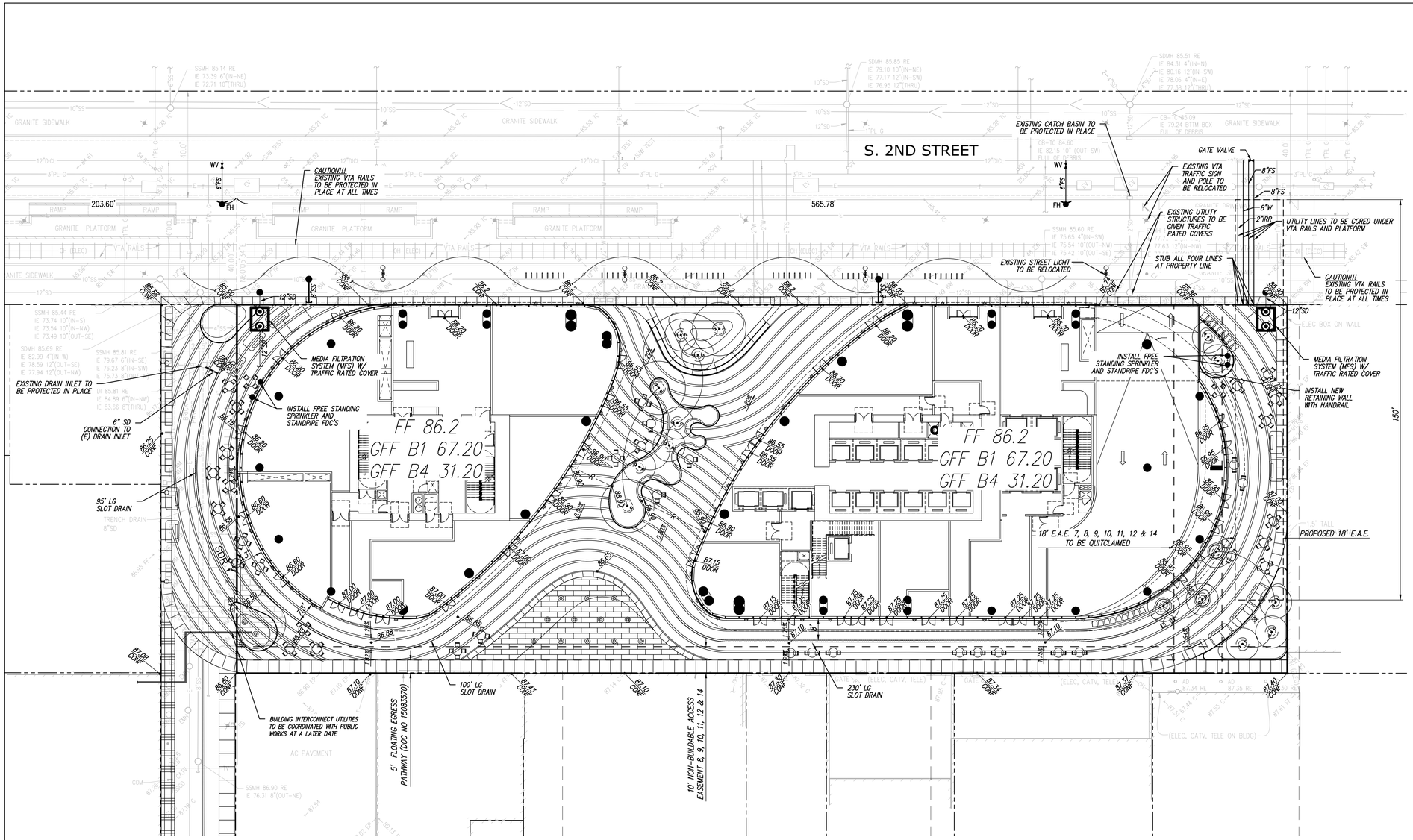

LEGEND

ASR	AUTOMATIC SPRINKLER RISER
FL	FLOW LINE
FF	FINISH FLOOR
PV	PAVEMENT
RE	RIM ELEVATION
TC	TOP OF CURB
WS	WATER SERVICE
23.8	SPOT ELEVATION
X X	EXISTING UTILITY TO BE ABANDONDED BY REMOVAL
FS	FIRE SERVICE
SS	SANITARY SEWER
COTG	CLEANOUT TO GRADE
	STORM DRAIN LINE
	AREA DRAIN
	STORM DRAIN CATCH BASIN
	STORM DRAIN JUNCTION BOX
	BACK FLOW PREVENTION DEVICE
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT & VALVE
	POST INDICATOR VALVE
SSMH	SANITARY SEWER MANHOLE
	SINGLE CHECK VALVE
SDMH	STORM DRAIN MANHOLE
	WATER METER

NOTES

1. ALL EXISTING UTILITIES WITHIN FOUNTAIN ALLEY ARE TO BE PROTECTED IN PLACE.

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DATE	ISSUE
10/29/2020	100% DD SET

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KEY PLAN (NTS)

BAR SCALE

SHEET NAME

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN

PROJECT NO	A20055
DOB NO	
SCALE	1"=20'
FORMAT	ARCH D
DATE	
SHEET NO	C3.01

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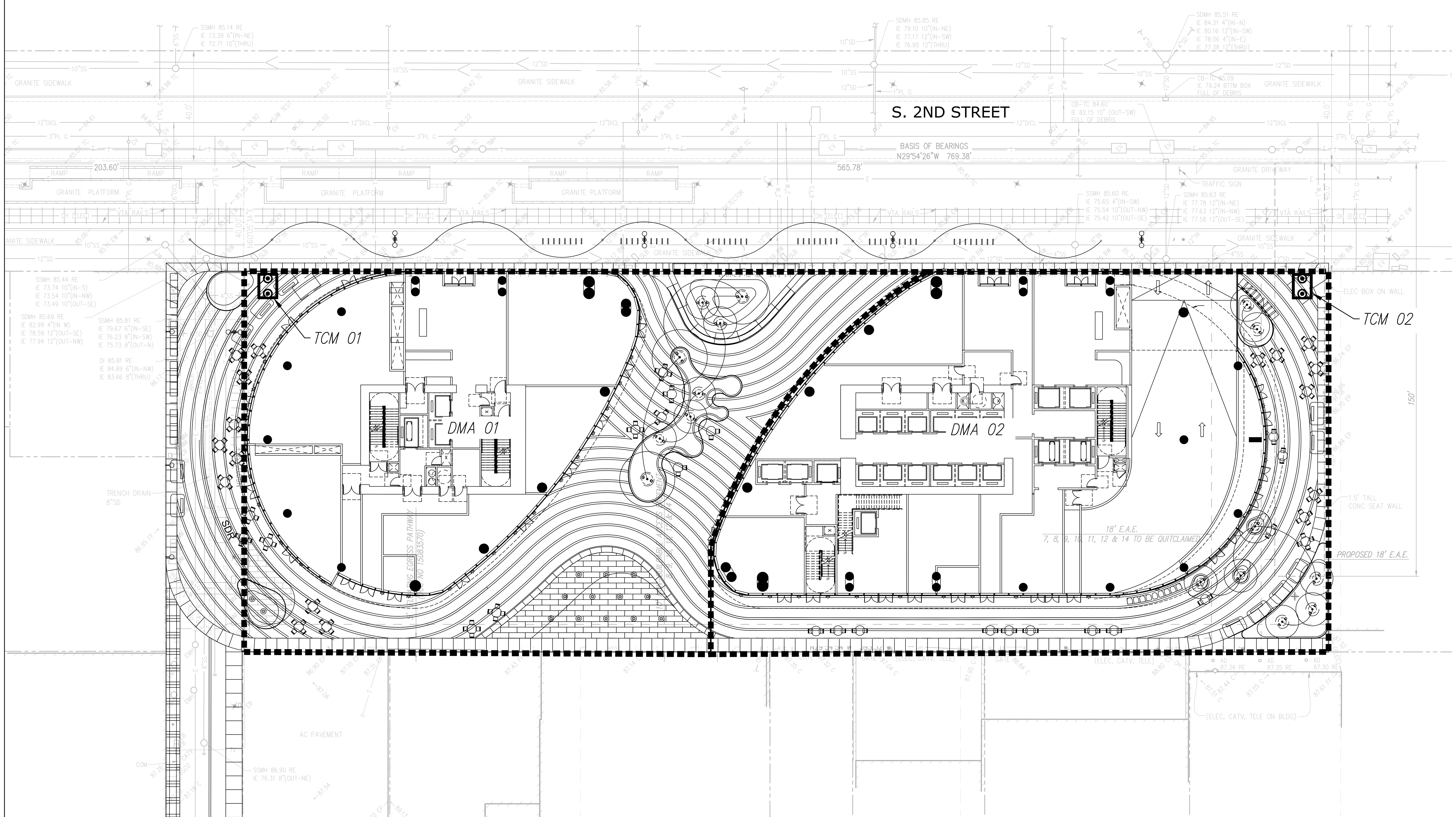

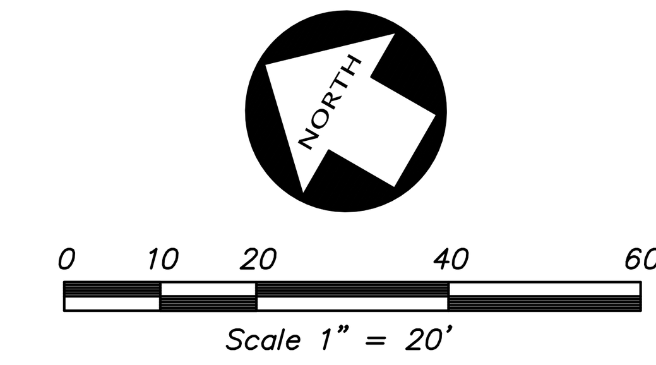

LEGEND

- TRIBUTARY AREA LIMITS
- LANDSCAPE AREA
- IMPERVIOUS ROOFTOP DRAINING TO BIO-SWALE
- IMPERVIOUS PAVEMENT DRAINING TO BIO-SWALE
- BIO-RETENTION TREATMENT AREA
- CONCRETE AREA

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DATE	ISSUE
10/29/2020	100% DD SET

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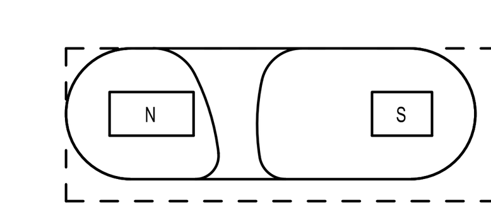

BAR SCALE

SHEET NAME
PRELIMINARY STORM WATER QUALITY CONTROL PLAN

PROJECT NO
A20055
DOB NO
SCALE
1"=20'
FORMAT
ARCH D
DATE

SHEET NO
C4.01

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PROJECT SITE INFORMATION:

1. SOILS TYPE: CLAY
2. GROUND WATER DEPTH: TBD
3. NAME OF RECEIVING BODY: GUADALUPE RIVER
4. FLOOD ZONE:
5. FLOOD ELEVATION (IF APPLICABLE): N/A

OPERATION AND MAINTENANCE INFORMATION:

I. PROPERTY INFORMATION:
I.A. PROPERTY ADDRESS:
35 S. 2nd Street
SAN JOSE, CA 95110

I.B. PROPERTY OWNER:

II. RESPONSIBLE PARTY FOR MAINTENANCE:
II.A.CONTACT:

II.B.PHONE NUMBER OF CONTACT:

II.C.EMAIL:

II.D.ADDRESS:

SOURCE CONTROL MEASURES:

1. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
2. STORM DRAIN LABELING.
3. INTERIOR PARKING STRUCTURES.

SITE DESIGN MEASURES:

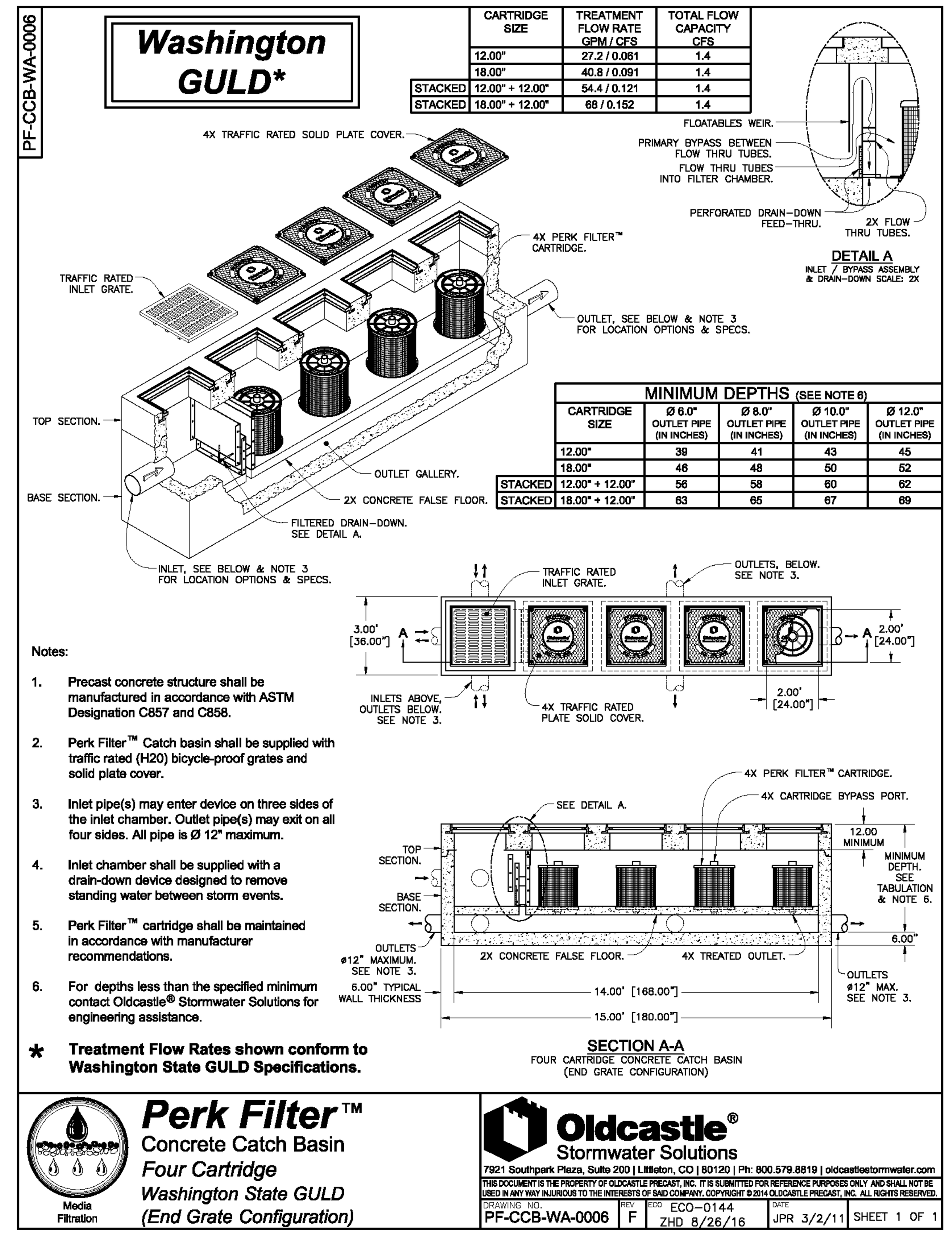
1. PARKING:
   a. ON TOP OF OR UNDER BUILDINGS.

STANDARD STORMWATER CONTROL NOTES:

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS, TO PREVENT MOSQUITO GENERATION. SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATION TO TREAT DISEASED PLANTS, CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

TABLE 1 — ROUTINE MAINTENANCE
ACTIVITIES FOR MEDIA FILTERS

NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	INSPECT FOR STANDING WATER, SEDIMENT, TRASH AND DEBRIS.	MONTHLY DURING RAINY SEASON
2	REMOVE ACCUMULATED TRASH AND DEBRIS IN THE UNIT DURING ROUTINE INSPECTIONS.	MONTHLY DURING RAINY SEASON, OR AS NEEDED AFTER STORM EVENTS
3	INSPECT TO ENSURE THAT THE FACILITY IS DRAINING COMPLETELY WITHIN FIVE DAYS AND PER MANUFACTURER'S SPECIFICATIONS.	ONCE DURING THE WET SEASON AFTER MAJOR STORM EVENT.
4	REPLACE THE MEDIA PER MANUFACTURER'S INSTRUCTIONS OR AS INDICATED BY THE CONDITION OF THE UNIT.	PER MANUFACTURER'S SPECIFICATIONS.
5	INSPECT MEDIA FILTERS USING THE ATTACHED INSPECTION CHECKLIST.	QUARTERLY OR AS NEEDED


PF-CCB-WA-0006
Washington GULD*
CARTRIDGE SIZE | TREATMENT FLOW RATE GPM / CFS | TOTAL FLOW CAPACITY CFS
12.00" | 27.2 / 0.061 | 1.4
18.00" | 40.8 / 0.091 | 1.4
STACKED 12.00" + 12.00" | 54.4 / 0.121 | 1.4
STACKED 18.00" + 12.00" | 68 / 0.152 | 1.4
4X TRAFFIC RATED SOLID PLATE COVER.
TRAFFIC RATED INLET GRATE.
4X PERK FILTER™ CARTRIDGE.
OUTLET, SEE BELOW & NOTE 3 FOR LOCATION OPTIONS & SPECS.
TOP SECTION.
BASE SECTION.
OUTLET GALLERY.
2X CONCRETE FALSE FLOOR.
FILTERED DRAIN-DOWN. SEE DETAIL A.
INLET, SEE BELOW & NOTE 3 FOR LOCATION OPTIONS & SPECS.
FLOATABLES WEIR.
PRIMARY BYPASS BETWEEN FLOW THRU TUBES.
FLOW THRU TUBES INTO FILTER CHAMBER.
PERFORATED DRAIN-DOWN FEED-THRU.
2X FLOW THRU TUBES.
DETAIL A
INLET / BYPASS ASSEMBLY & DRAIN-DOWN SCALE: 2X
MINIMUM DEPTHS (SEE NOTE 6)
CARTRIDGE SIZE | Ø 6.0" OUTLET PIPE (IN INCHES) | Ø 8.0" OUTLET PIPE (IN INCHES) | Ø 10.0" OUTLET PIPE (IN INCHES) | Ø 12.0" OUTLET PIPE (IN INCHES)
12.00" | 39 | 41 | 43 | 45
18.00" | 46 | 48 | 50 | 52
STACKED 12.00" + 12.00" | 56 | 58 | 60 | 62
STACKED 18.00" + 12.00" | 63 | 65 | 67 | 69
TRAFFIC RATED INLET GRATE.
OUTLETS, BELOW. SEE NOTE 3.
3.00' [36.00"]
2.00' [24.00"]
INLETS ABOVE, OUTLETS BELOW. SEE NOTE 3.
4X TRAFFIC RATED PLATE SOLID COVER.
Notes:
1. Precast concrete structure shall be manufactured in accordance with ASTM Designation C857 and C858.
2. Perk Filter™ Catch basin shall be supplied with traffic rated (H20) bicycle-proof grates and solid plate cover.
3. Inlet pipe(s) may enter device on three sides of the inlet chamber. Outlet pipe(s) may exit on all four sides. All pipe is Ø 12" maximum.
4. Inlet chamber shall be supplied with a drain-down device designed to remove standing water between storm events.
5. Perk Filter™ cartridge shall be maintained in accordance with manufacturer recommendations.
6. For depths less than the specified minimum contact Oldcastle® Stormwater Solutions for engineering assistance.
* Treatment Flow Rates shown conform to Washington State GULD Specifications.
SEE DETAIL A.
4X PERK FILTER™ CARTRIDGE.
4X CARTRIDGE BYPASS PORT.
12.00 MINIMUM
MINIMUM DEPTH. SEE TABULATION & NOTE 6.
6.00"
OUTLETS ø12" MAXIMUM. SEE NOTE 3.
6.00" TYPICAL WALL THICKNESS
2X CONCRETE FALSE FLOOR.
4X TREATED OUTLET.
OUTLETS ø12" MAX. SEE NOTE 3.
14.00' [168.00"]
15.00' [180.00"]
SECTION A-A
FOUR CARTRIDGE CONCRETE CATCH BASIN (END GRATE CONFIGURATION)
Media Filtration
Perk Filter™
Concrete Catch Basin
Four Cartridge
Washington State GULD
(End Grate Configuration)
Oldcastle®
Stormwater Solutions
7921 Southpark Plaza, Suite 200 | Littleton, CO | 80120 | Ph: 800.579.8819 | oldcastlestormwater.com
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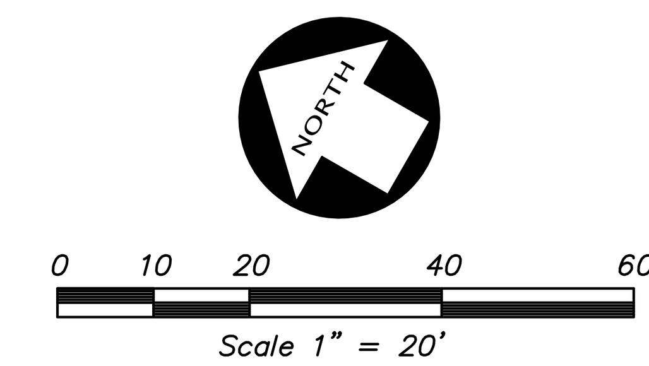
DRAWING NO. PF-CCB-WA-0006
REV F
ECO ECO-0144 ZHD 8/26/16
DATE JPR 3/2/11
SHEET 1 OF 1



TREATMENT CONTROL MEASURE SUMMARY TABLE

DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (in)	Storage Depth Required (ft)	Storage Depth Provided (ft)	# of Cartridges Required	# of Cartridges Provided	Media Type	Cartridge Height (inches)	# of Credit Trees	Treatment Credit (s.f.)	Comments
1	1		Proprietary Media Filter System (MFS)	Non-LID	2C. Flow: I = 0.2	26,357	25,599	0	758	48.41%	N/A	N/A	N/A	N/A	N/A	5	5	PerkFilter	18	0	0	
2	2		Proprietary Media Filter System (MFS)	Non-LID	2C. Flow: I = 0.2	28,092	27,647	0	445	51.59%	N/A	N/A	N/A	N/A	N/A	5	5	PerkFilter	18	0	0	
					Totals:	54,449	53,246	0	1,203	100.00%												

FORM #138 - Stormwater Evaluation Form — page 2 of 4

2. AREA DATA

2.a Enter the Project Phase Number (1, 2, 3, etc. or N/A if Not Applicable):	N/A	
2.b Total area of site:	1.25	acres
2.c Total area of site that will be disturbed:	1.25	acres

COMPARISON OF IMPERVIOUS AND PERVIOUS AREAS AT PROJECT SITE:

2.d IMPERVIOUS AREAS - IA	Pre-Project Existing IA sq. ft.	Existing IA Retained As-Is[1] sq. ft.	Existing IA Replaced with IA[2] sq. ft.	New IA Created[2] sq. ft.	Total Post Project IA sq. ft.
Site Totals					
Total IA	d.1 51,107	d.2 0	d.3 51,107	d.4 3,342	d.5 (d.2+d.3+d.4) 53,246
Total New and Replaced IA			d.6 (d.3+d.4) 54,449		
Public Street Totals					
Total Public Streets IA[3]	d.8 0	d.9 0	d.10 0	d.11 0	d.12 (d.9+d.10+d.11) 0
Total New and Replaced Public Streets IA			d.13 (d.10+d.11) 0		
Total Site and Public Streets IA	d.14 (d.1.+d.8) 51,107				d.15 (d.5+d.12) 53,246
Percent Replacement of IA in Redevelopment Projects (d.3÷d.1) x 100:					d.16 100 %

2.e PERVIOUS AREAS - PA	Pre-Project Existing PA sq. ft.	Total Post Project PA sq. ft.
Total PA[4]	e.1 3,342	e.2 1,203
2.f Total Area (IA + PA)	f.1 (d.14 + e.1) 54,449	f.2 (d.15 + e.2) 54,449

MEDIA FILTER SIZING

DMA # 1
A= 26357 s.f. A= 0.60507 acre

C Value	Area* (s.f.)	Weighted C Value
0.9	12,174	0.826
0.8	13,425	
0.7	0	
0.1	758	

Rainfall Intensity (i)
i = 0.2

* Input Values by hand or use Table at the bottom of the spreadsheet.

Q= C x i x A
Q= 0.0999651 cfs

Manufacturer: Kristar/Oldcastle
Cartridge Height: 18 in.
Cartidge Media (if applicable): Perk Filter
G.U.L.D. Cartridge Treatment Flowrate (CTF): **10.2** gpm/cartridge

\# Cartridges= [Q x (449 gpm/cfs)] / CTF
\# Cartridges = 4.400425 (round up)
 # Cartridges Required= 5
Treatment Flow Rate Capacity= 0.113586 cfs

MEDIA FILTER SIZING

DMA # 2
A= 28092 s.f. A= 0.64490 acre

C Value	Area* (s.f.)	Weighted C Value
0.9	18,518	0.855
0.8	9,129	
0.7	0	
0.1	445	

Rainfall Intensity (i)
i = 0.2

* Input Values by hand or use Table at the bottom of the spreadsheet.

Q= C x i x A
Q= 0.1102567 cfs

Manufacturer: Kristar/Oldcastle
Cartridge Height: 18 in.
Cartidge Media (if applicable): Perk Filter
G.U.L.D. Cartridge Treatment Flowrate (CTF): **10.2** gpm/cartridge

\# Cartridges= [Q x (449 gpm/cfs)] / CTF
\# Cartridges = 4.853455 (round up)
 # Cartridges Required= 5
Treatment Flow Rate Capacity= 0.113586 cfs

CLIENT
600-1067 WEST CORDOVA STREET
VANCOUVER BC V6C 1C7
T +1 604 685 8986

ARCHITECT
BJARKE INGELS GROUP
61 BROADWAY, SUITE 3300
NEW YORK, NY 10006, USA
T +1 347 549 4141

CIVIL
KIER & WRIGHT
3350 SCOTT BLVD BUILDING 22
SANTA CLARA, CA 95054
T +1 408 727 6665

STRUCTURAL
GLOTMAN SIMPSON CONS. ENG.
1661 WEST 5TH AVENUE
VANCOUVER, BC V6J 1N5
T +1 604 734 882

MECHANICAL / PLUMBING / FIRE PROTECTION
TAYLOR ENGINEERING
1080 MARINA VILLAGE PARKWAY, SUITE 501
ALAMEDA, CA 94501
T +1 510 749 9135

ELECTRICAL
NEMETZ (S/A) & ASSOCIATES LTD.
2009 WEST 4TH AVENUE
VANCOUVER, BC V6J 1N3
T +1 604 736 6562

FIRE & LIFE SAFETY
HOLMES FIRE
235 MONTGOMERY STREET #1250
SAN FRANCISCO, CA 94104
T +1 415 693 1600

LANDSCAPE ARCHITECT
BIONIC
PO BOX 460309
SAN FRANCISCO, CA 94146
T +1 415 206 0648

GEOTECHNICAL
LANGAN
1 ALMADEN BLVD, SUITE 590
SAN JOSE, CA 95113
T +1 408 283 3600

TRANSPORTATION
FEHR & PEERS
160 W. SANTA CLARA STREET, SUITE 675
SAN JOSE, CA 95113
T +1 408 278 1700

PARKING
WATRY DESIGN INC.
SAN JOSE, CA
T +1 408 392 7900

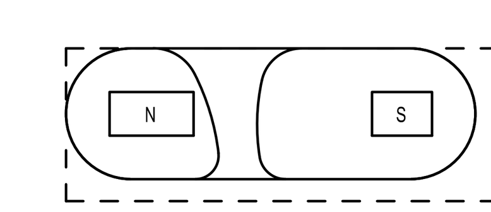
DATE	ISSUE
10/29/2020	100% DD SET

SEAL
REGISTERED PROFESSIONAL ENGINEER
MARK A. KNUDSEN
75828
CIVIL
STATE OF CALIFORNIA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

NOT FOR CONSTRUCTION

KEY PLAN
(NTS)

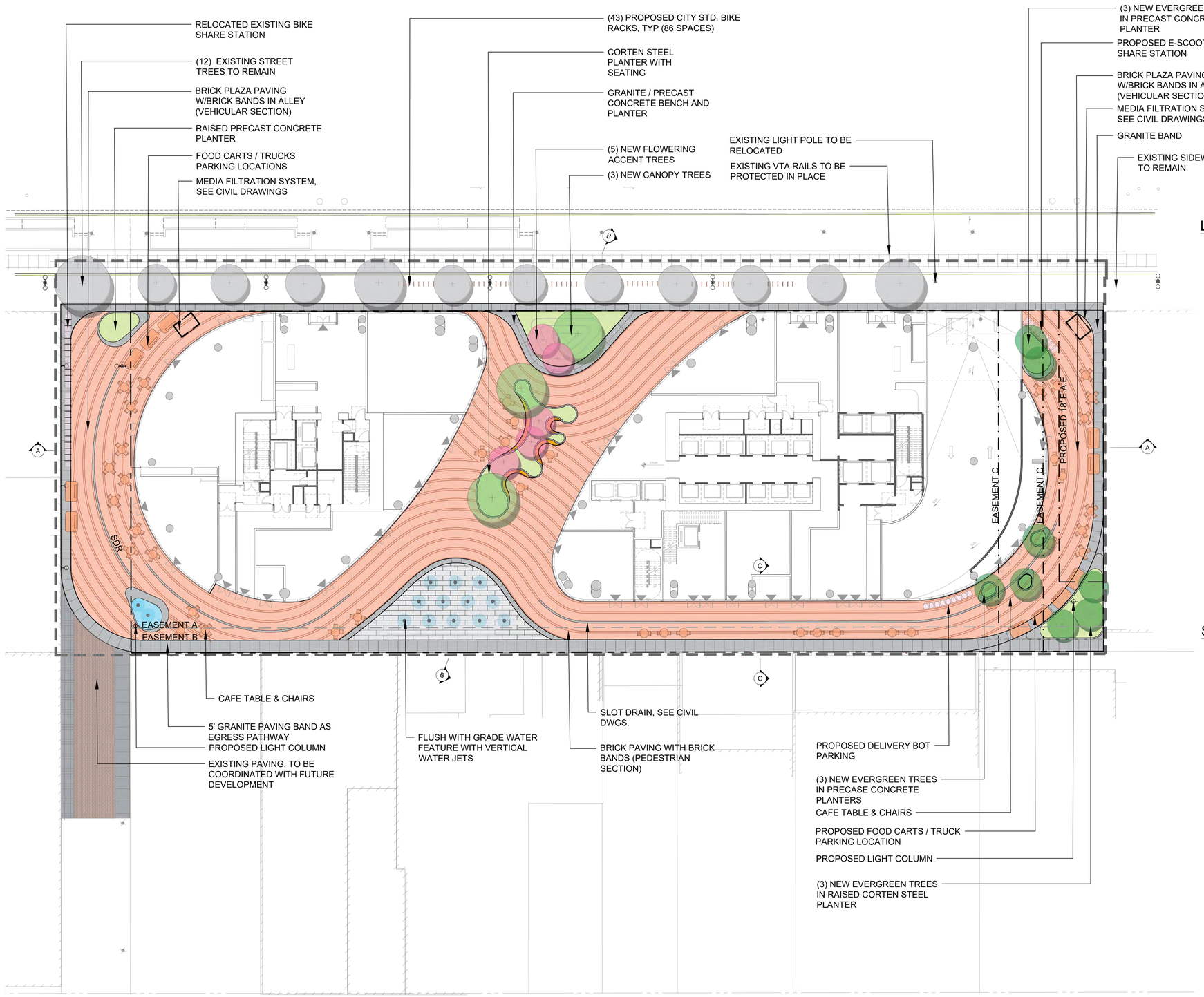


BAR SCALE

SHEET NAME
PRELIMINARY STORM WATER QUALITY CONTROL PLAN

PROJECT NO A20055
SHEET NO C4.02
DOB NO
SCALE 1"=20'
FORMAT ARCH D
DATE

Z:\2020\A20055\DWG\ENTITLEMENTS\PD PERMIT\A20055-PG-SWM.dwg 11-13-20 10:27:32 AM cbowen



LEGEND

- LLOW — (LLOW) LANDSCAPE LIMIT OF WORK
- (PL) PROPERTY LINE
- EASEMENT A — 10.0' NON-BUILDABLE ACCESS EASEMENT 8, 9, 10, 11, 12 & 14
- EASEMENT B — 5.0' FLOATING EGRESS PATHWAY (DOC NO 15083570)
- EASEMENT C — 18.0' E.A.E. 7, 8, 9, 10, 11, 12 & 1
- SDR — SLOT DRAIN
- EXISTING STREET LIGHT
- ENTRY DOORS
- EXISTING VTA RAIL TO REMAIN AND BE PROTECTED AT ALL TIMES
- EXISTING STREET TREE TO REMAIN

SCHEDULE

- CANOPY TREE
- FLOWERING ACCENT TREE
- EVERGREEN TREE
- BRICK PLAZA PAVING WITH BRICK BANDS
- GRANITE BANDS
- SLOT DRAINS, SEE CIVIL DWGS

SAN JOSE FOUNTAIN ALLEY

30 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1681 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1600
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE
11/13/2020	SITE DEVELOPMENT PERMIT SUBMITTAL

SEAL

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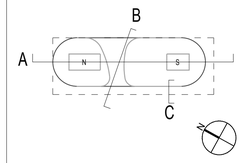
KEY PLAN (NTS)



BAR SCALE 1" = 20'-0"

0 5 10 20 50'

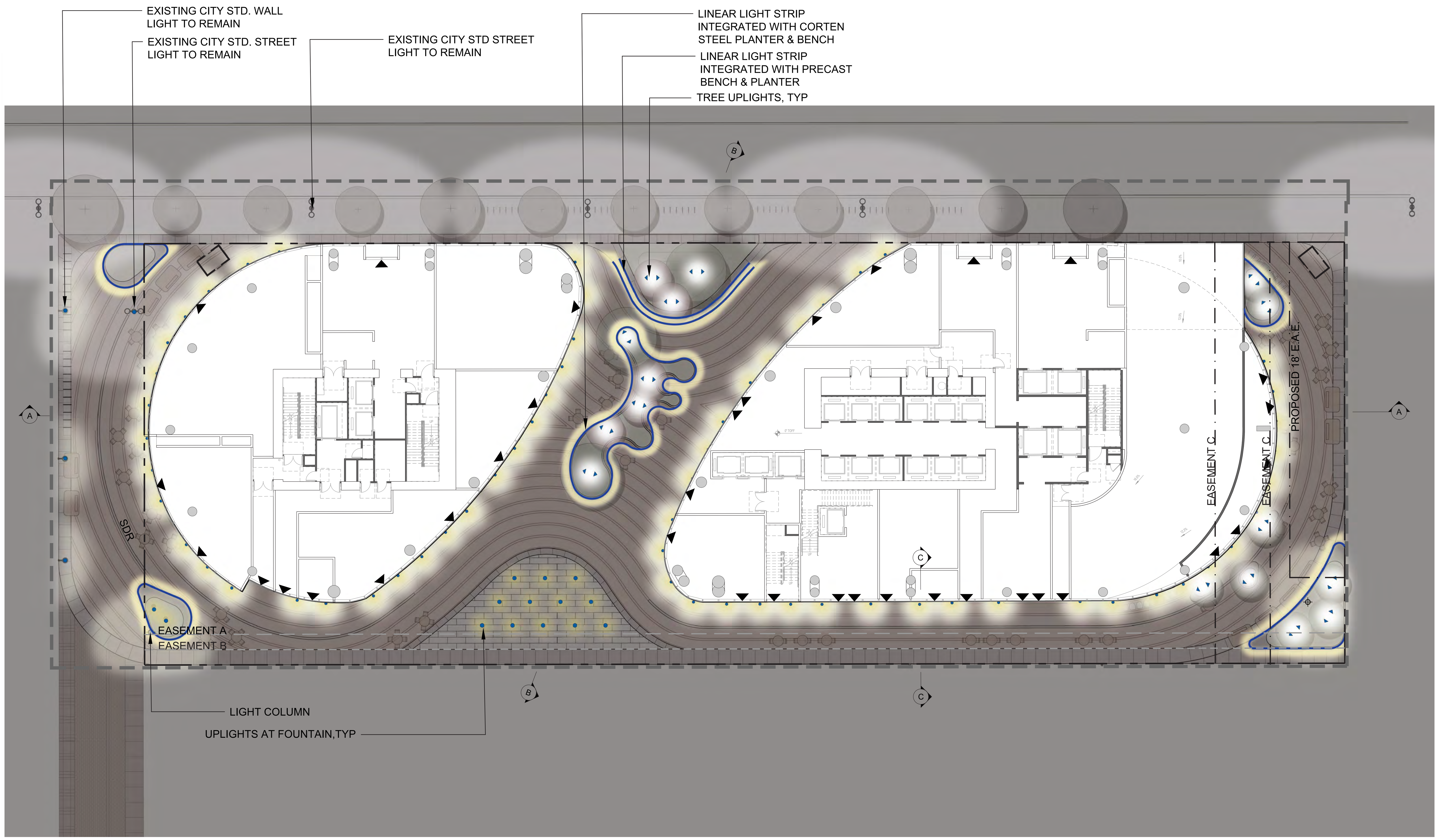
SHEET NAME

ILLUSTRATIVE LANDSCAPE PLAN-LEVEL 1

PROJECT NO	20508
DOB NO	5050
SCALE	As indicated
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO **L-101**

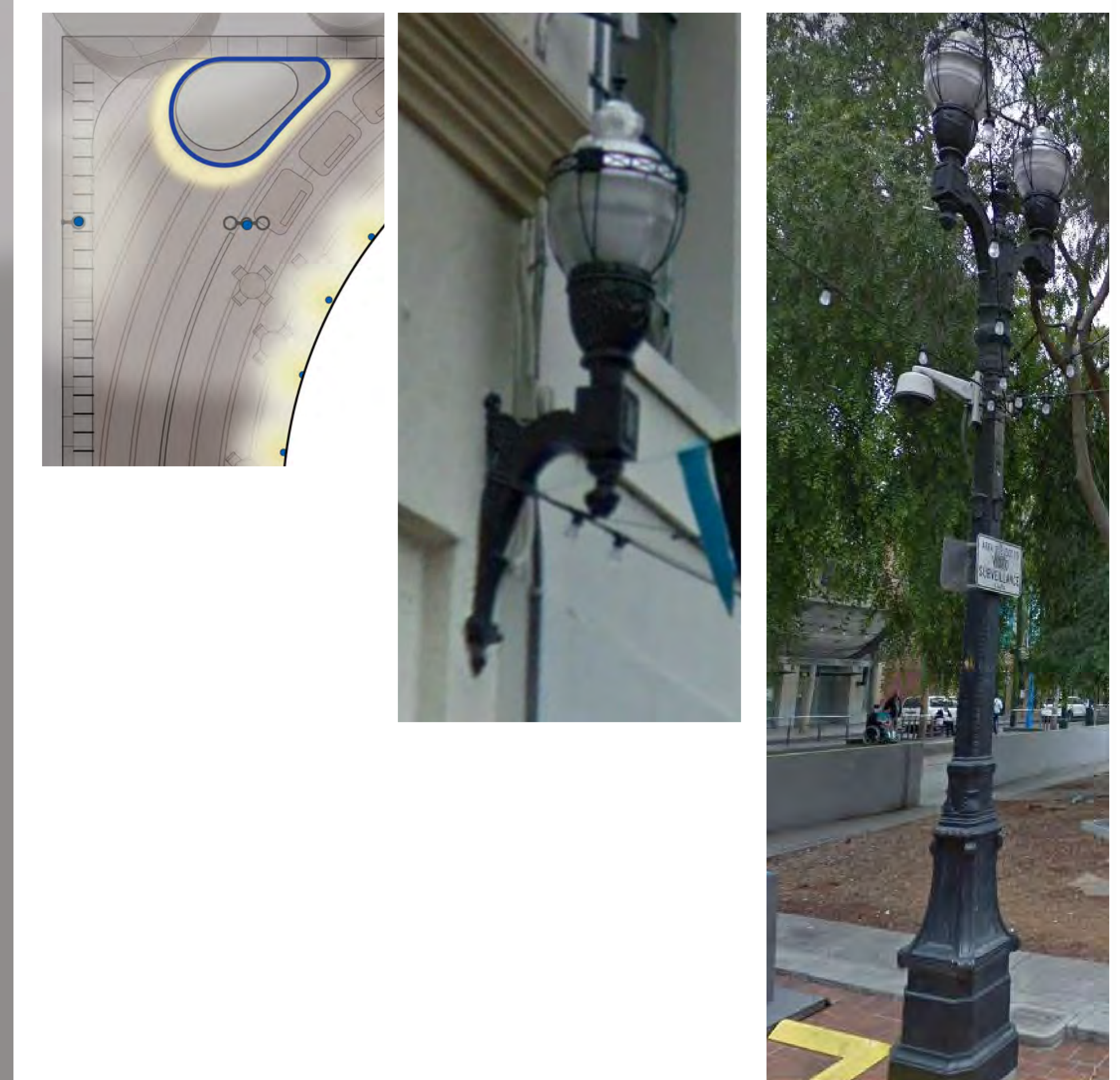
10/26/2020 4:56:06 PM



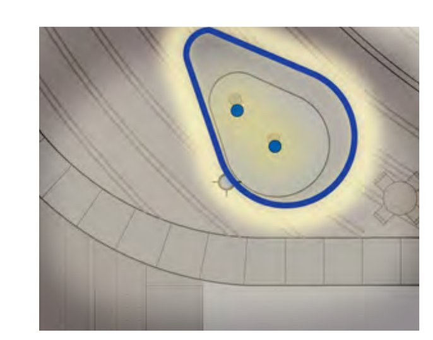
GENERAL NOTES

1 LANDSCAPE LIMIT OF WORK OFFSET 2' FOR CLARITY

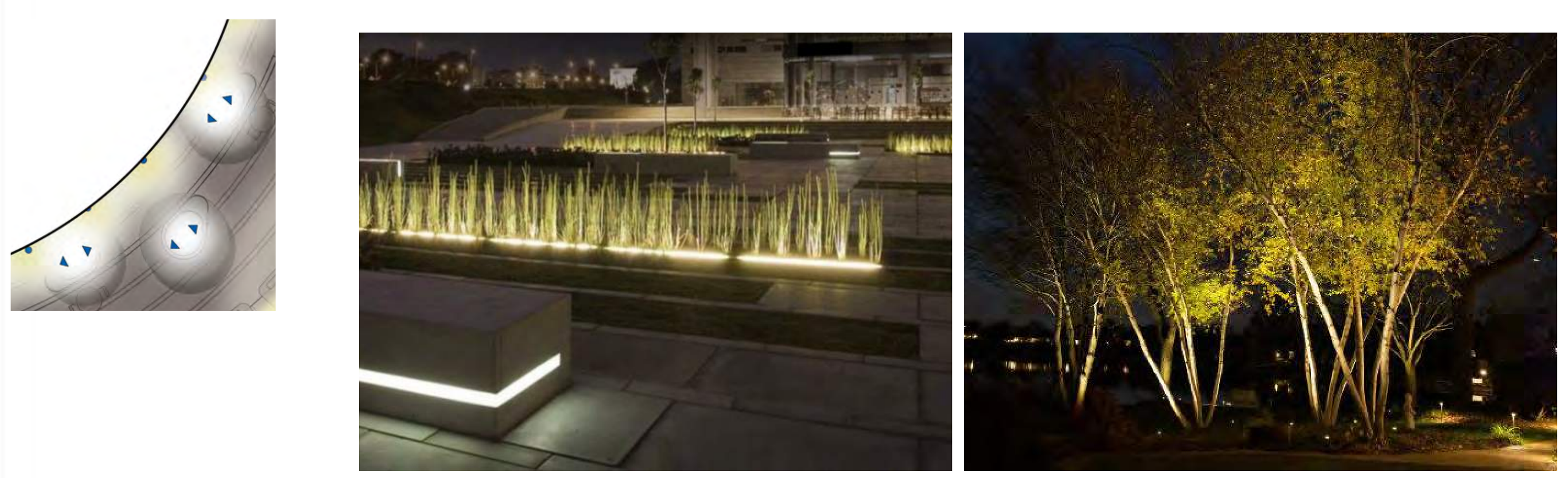
2. LIGHT FIXTURES SHOWN ON THIS PLAN REPRESENT DESIGN INTENT FOR LANDSCAPE LIGHTING ONLY. REFER TO LIGHTING PLANS FOR ILLUMINATION AND PHOTOMETRIC INFORMATION.



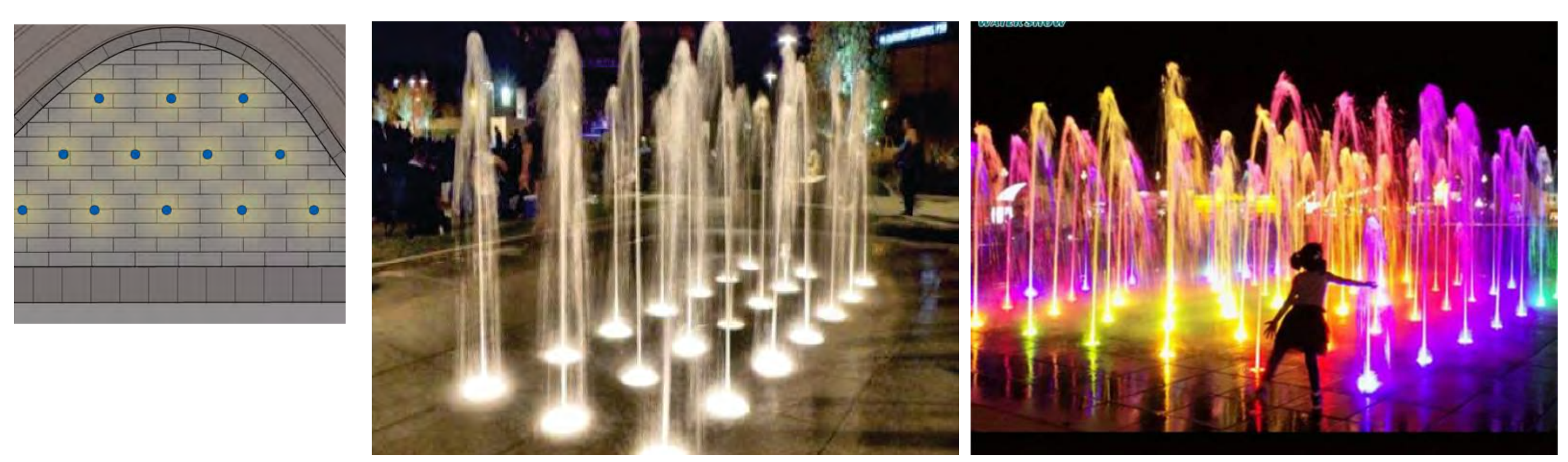
EXISTING FOUNTAIN ALLEY LIGHTING



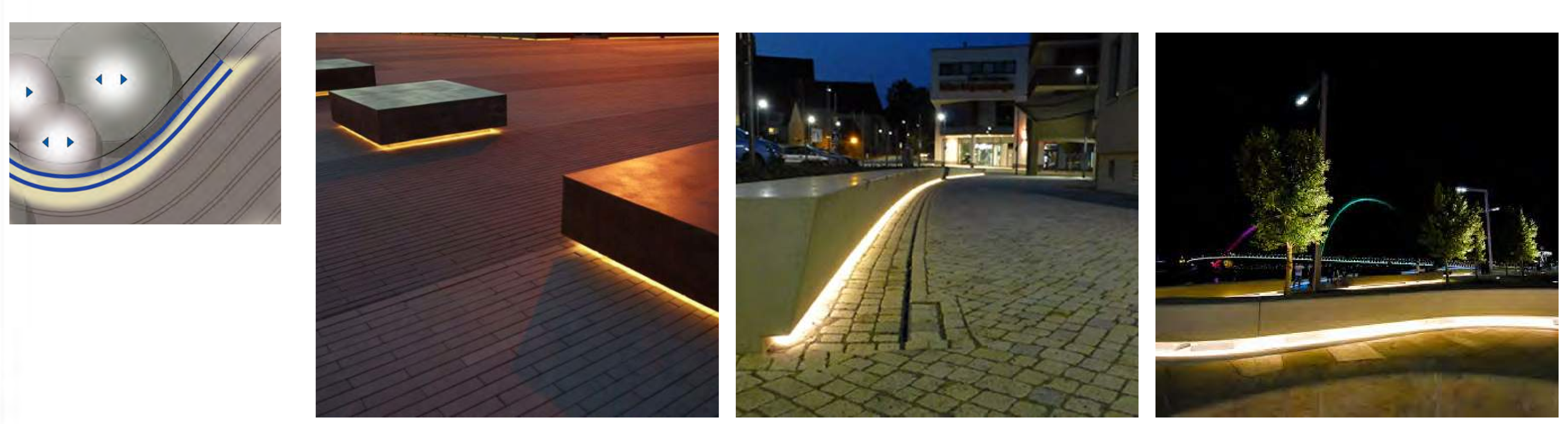
PROPOSED LIGHT COLUMNS



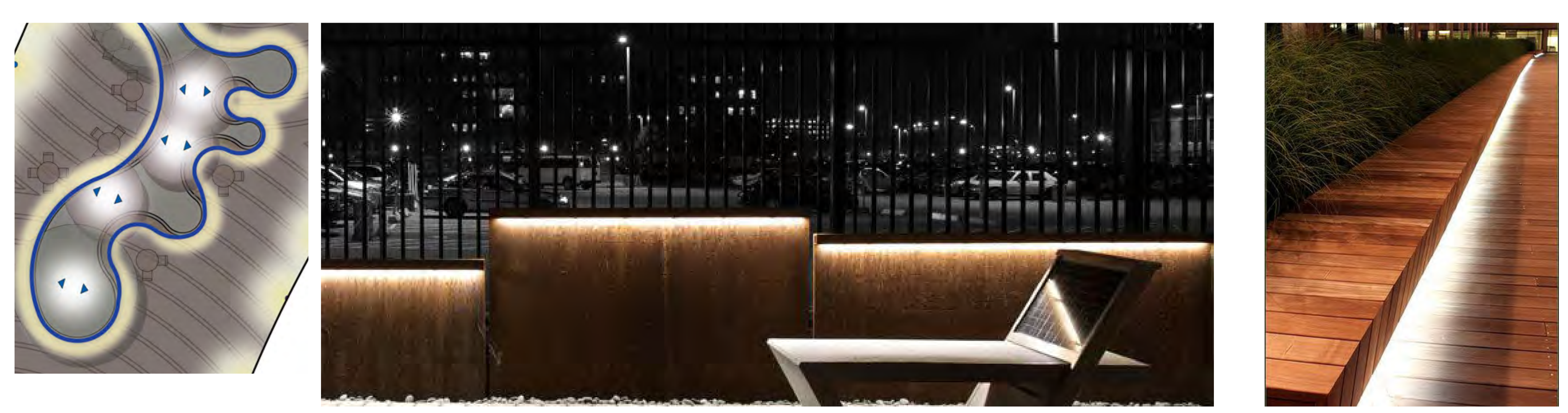
TREE AND PLANT ACCENT LIGHTING



INTERACTIVE FOUNTAIN ACCENT LIGHTING



INTEGRATED LIGHTING AT PRECAST PLANTERS



INTEGRATED LIGHTING AT CORTEN PLANTER AND BENCH

SAN JOSE FOUNTAIN ALLEY
35 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	WESTBANK CORPORATION 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	BJARKE INGELS GROUP 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	KIER & WRIGHT 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	GLOTMAN SIMPSON CONS. ENG. 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	TAYLOR ENGINEERING 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	NEMETZ (S/A) & ASSOCIATES LTD. 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	HOLMES FIRE 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1600
LANDSCAPE ARCHITECT	BIONIC PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	LANGAN 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	FEHR & PEERS 160 W SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	WATRY DESIGN INC. SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE
11/13/2020	SITE DEVELOPMENT PERMIT SUBMITTAL

SEAL

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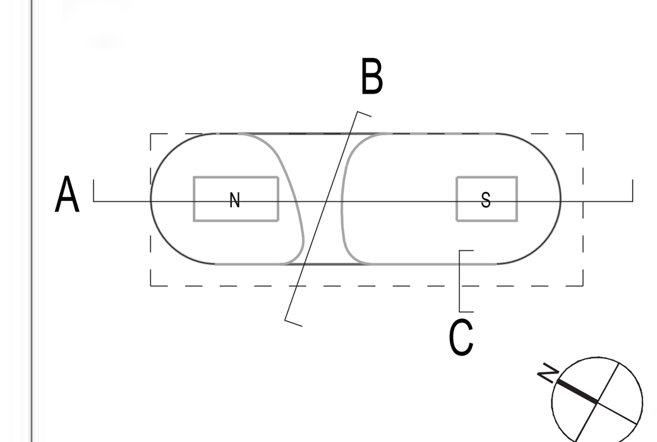
KEY PLAN
(NTS)



BAR SCALE 1" = 20'-0"

SHEET NAME

ILLUSTRATIVE SITE LIGHTING PLAN - LEVEL 1

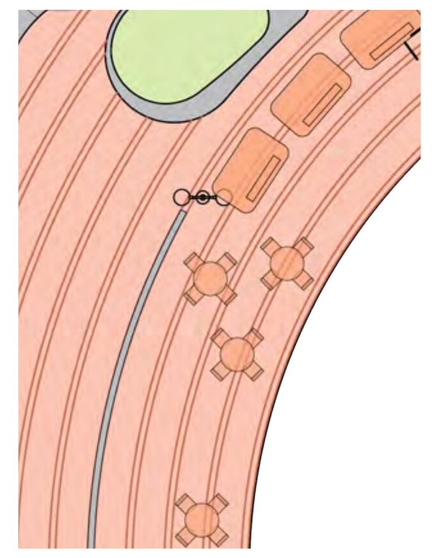
PROJECT NO. 20508
DOB NO 5050
SCALE As indicated
FORMAT ARCH D
DATE 8/1/2020

SHEET NO L-102

10/26/2020 4:28:11 PM

EXISTING BRICK PAVING AT ALLEY

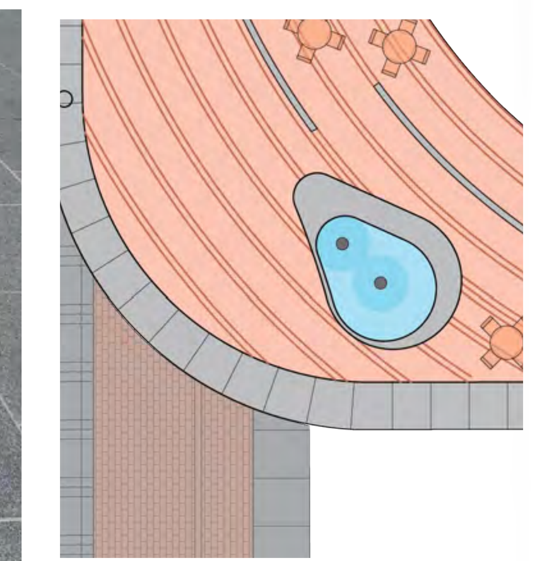
DARK-TONED CLAY BRICK

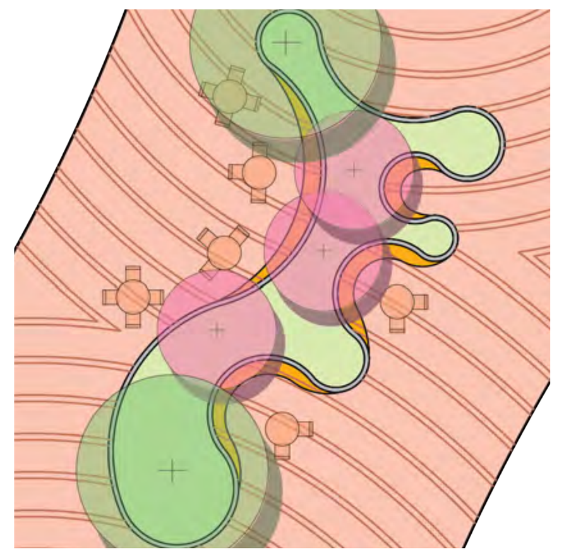


CURVED PAVING GEOMETRIES IN BRICK

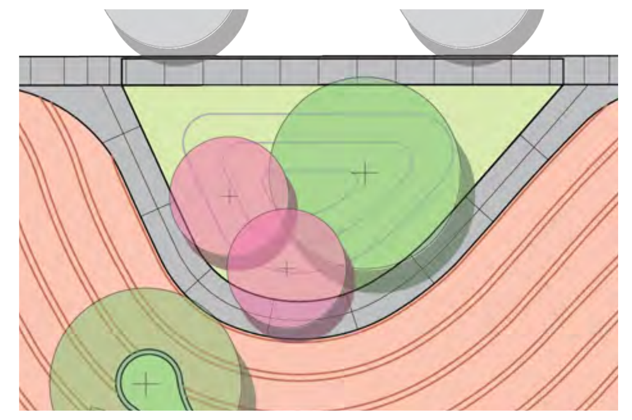
EXISTING GRANITE PAVING

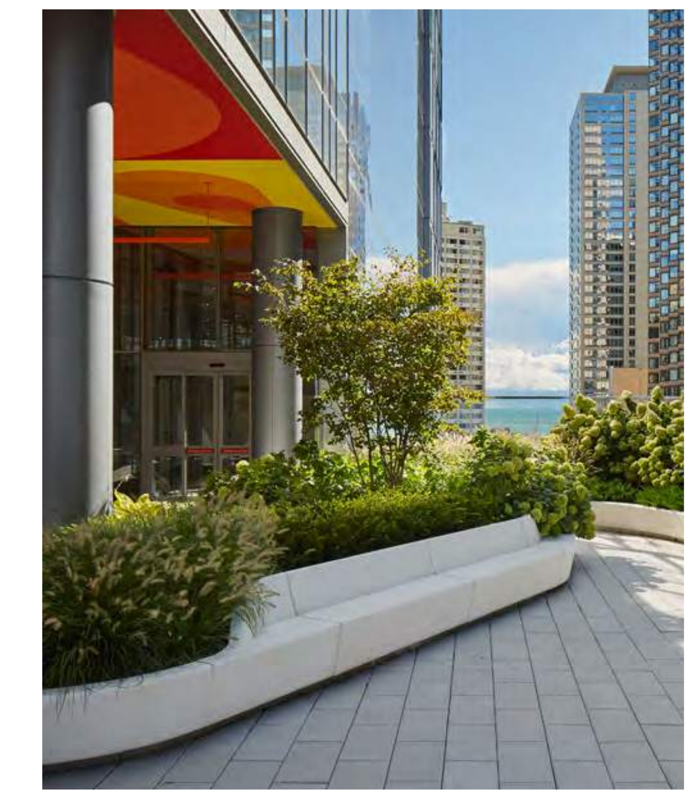
GRANITE PAVER BANDS



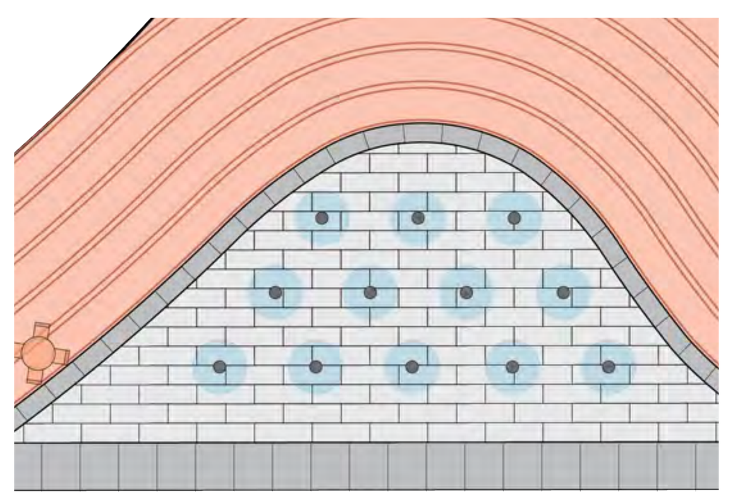


CORTEN STEEL PLANTER W/ BENCH

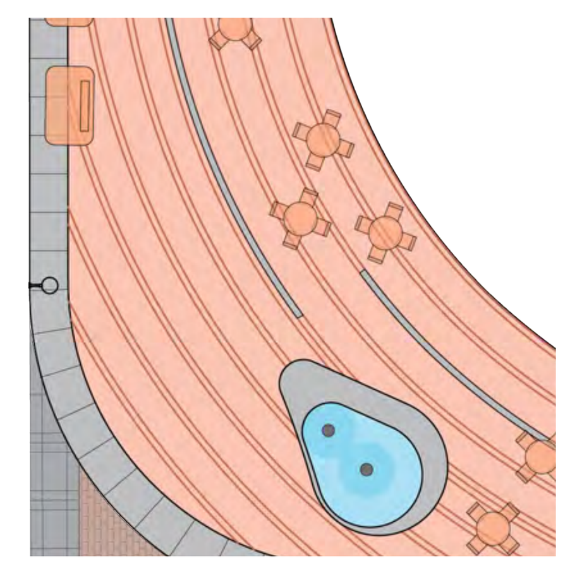




UNDULATING GRANITE BENCH & PLANTER WALL, MERGING WITH GRANITE PAVEMENT BAND



INTERACTIVE WATER
FEATURE WITH
TOPOGRAPHICAL INLAY



RAISED WATER FEATURE NEAR FOUNTAIN ALLEY

SAN JOSE FOUNTAIN ALLEY
35 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	WESTBANK CORPORATION 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	BJARKE INGELS GROUP 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	KIER & WRIGHT 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	GLOTMAN SIMPSON CONS. ENG. 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	TAYLOR ENGINEERING 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	NEMETZ (S/A) & ASSOCIATES LTD. 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	HOLMES FIRE 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1600
LANDSCAPE ARCHITECT	BIONIC PO BOX 460009 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	LANGAN 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	FEHR & PEERS 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	WATRY DESIGN INC. SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE
11/13/2020	SITE DEVELOPMENT PERMIT SUBMITTAL

SEAL

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NOT FOR CONSTRUCTION

KEY PLAN
(NTS)

BAR SCALE

SHEET NAME

MATERIALS SCHEDULE & PALETTE - LEVEL 1

PROJECT NO
20508

DOB NO
5050

SCALE
As indicated

FORMAT
ARCH D

DATE
6/1/2020

SHEET NO.
L-103

10/26/2020 4:26:11 PM

GENERAL NOTES

1 EXISTING TREE TAGS AND TREE INFORMATION PER THE ARBORIST REPORT PREPARED BY DAVID J. POWERS AND ASSOCIATES, DATED: NOV 6, 2020

2 REFER TO ARBORIST REPORT FOR RECOMMENDED TREE PROTECTION, TREE PROTECTION ZONE AND TREE PRUNING AND TREE IRRIGATION DURING CONSTRUCTION.

3 TREE # 26,27,28 PER THE ARBORIST REPORT, ARE OUTSIDE THE LIMIT OF WORK OF THIS PROJECT, AND WILL NOT BE IMPACTED BY THIS PROJECT'S SCOPE OF WORK. THESE TREES ARE NOT SHOWN ON THE PROJECT DOCUMENTS.

LEGEND

LLOW	(LLOW) LANDSCAPE LIMIT OF WORK
	(PL) PROPERTY LINE
EASEMENT A	10.0' NON-BUILDABLE ACCESS EASEMENT 8, 9, 10, 11, 12 & 14
EASEMENT B	5.0' FLOATING EGRESS PATHWAY (DOC NO 15083570)
EASEMENT C	18.0' E.A.E. 7, 8, 9, 10, 11, 12 & 1
##	(E) EXISTING TREE (TO BE REMOVED)
##	(E) EXISTING STREET TREE (TO REMAIN)

Tree Replacement Ratios				
Circumference of Tree to be Removed	Type of Tree to be Removed			Minimum Size of Each Replacement Tree
	Native	Non-Native	Orchard	
38 inches or more	5:1	4:1	3:1	15-gallon
19 up to 38 inches	3:1	2:1	none	15-gallon
Less than 19 inches	1:1	1:1	none	15-gallon

x:x = tree replacement to tree loss ratio

Note: Trees greater than or equal to 38-inch circumference shall not be removed unless a Tree Removal Permit, or equivalent, has been approved for the removal of such trees. For Multi-Family residential, Commercial and Industrial properties, a permit is required for removal of trees of any size.

A 38-inch tree equals 12.1 inches in diameter.

A 24-inch box tree = two 15-gallon trees

Single Family and Two-dwelling properties may be mitigated at a 1:1 ratio.

LOCATION	EXISTING TREES REMOVED	REPLACEMENT TREES PROVIDED
ON PROPERTY TREES	11	16 X 24 IN BOX TREES (EQUIVALENT OF 32 X 15 GAL TREES)
STREET TREES	2#	0*
* Pay Off-Site Tree Replacement Fee to the City for the equivalent of "_" X 15Gallon Trees, prior to the issuance of Public Works grading permit(s), in accordance to the approved City Council Fee Schedule. The City will use the off-site tree replacement fee to plant trees at alternative sites. The current 2019 – 2020 Fee Schedule lists the in-lieu fee at $755 per tree.		
# A separate tree removal permit application shall be submitted for the city's review. Street tree removal and new street tree planting location shall be subject to public work approvaL. Replacement tree Size per City's direction.		

TREE DISPOSITION SCHEDULE

Tag ..	Common Name	Latin Name	Diameter at Breast Height (inches)	Circumference (inches)	Ordinance Tree	HEALTH	PRESERVATION SUITABILITY	NOTES, RECOMMENDATIONS	STATUS
STREET TREES									
1	London Plane Tree	Platanus × acerifolia	11.4	36	NO	3	Moderate	CDB, CR,SD,ST, Anthracnose symptoms	REMOVE
2	London Plane Tree	Platanus × acerifolia	12.5	39	YES	3	Moderate	CDB, CR,SD,ST, LN,Anthracnose symptoms	REMAIN
3	London Plane Tree	Platanus × acerifolia	11.0	35	NO	3	Moderate	CDB, CR,SD,ST, Anthracnose symptoms	REMAIN
4	London Plane Tree	Platanus × acerifolia	11.0	35	NO	3	Moderate	CDB, CR,SD,ST, Anthracnose symptoms	REMAIN
5	London Plane Tree	Platanus × acerifolia	11.6	36	NO	3	Moderate	CDB, CR,SD,ST, LN,Anthracnose symptoms	REMAIN
6	London Plane Tree	Platanus × acerifolia	13.1	41	YES	3	Moderate	CDB, CR,SD,ST, Anthracnose symptoms	REMAIN
7	London Plane Tree	Platanus × acerifolia	12.4	39	YES	3	Moderate	CDB, CR,SD,ST, Anthracnose symptoms	REMAIN
8	London Plane Tree	Platanus × acerifolia	12.8	40	YES	3	Moderate	CDB, CR,SD,ST, Anthracnose symptoms	REMAIN
9	London Plane Tree	Platanus × acerifolia	12.7	40	YES	3	Moderate	CDB, CR,SD,ST, Anthracnose symptoms	REMAIN
10	London Plane Tree	Platanus × acerifolia	11.9	37	YES	3	Moderate	CDB, CR,SD,ST, Anthracnose symptoms	REMAIN
11	London Plane Tree	Platanus × acerifolia	12.4	39	YES	3	Moderate	CDB, CR,SD,ST,LN, Anthracnose symptoms	REMAIN
12	London Plane Tree	Platanus × acerifolia	9.9	31	NO	3	Moderate	CDB, CR,SD,ST, Anthracnose symptoms	REMOVE
13	London Plane Tree	Platanus × acerifolia	13.1	41	YES	3	Moderate	CDB, CR,SD,ST, Anthracnose symptoms	REMAIN
29	London Plane Tree	Platanus × acerifolia	TO BE SURVEYED						REMOVE
30	London Plane Tree	Platanus × acerifolia	TO BE SURVEYED						REMAIN
ON-PROPERTY TREES									
14	Ulmus parvifolia	Chinese Elm	17.6	55	YES	4	Good		REMOVE
15	Ulmus parvifolia	Chinese Elm	8.3	26	NO	4	Good		REMOVE
16	Ulmus parvifolia	Chinese Elm	10.7	34	NO	4	Good		REMOVE
17	Ulmus parvifolia	Chinese Elm	11.1	35	NO	4	Good		REMOVE
18	Ulmus parvifolia	Chinese Elm	7.5	24	NO	4	Good	LN	REMOVE
19	Ulmus parvifolia	Chinese Elm	6.8	21	NO	3	Moderate	EH,PS	REMOVE
20	Ulmus parvifolia	Chinese Elm	9.3	29	NO	4	Good		REMOVE
21	Ulmus parvifolia	Chinese Elm	1.2	4	NO	4	Good	Newly planted tree	REMOVE
22	Ulmus parvifolia	Chinese Elm	1.1	3	NO	4	Good	Newly planted tree	REMOVE
23	Ulmus parvifolia	Chinese Elm	7.0	22	NO	4	Good		REMOVE
24	Ulmus parvifolia	Chinese Elm	10.5	33	NO	4	Good		REMOVE
25	Syzyium paniculatum	Bush Cherry	13.1	41	Yes	2	Poor	Overgrown shrub / tree, PS, CD	REMOVE
				TOTAL TREES		**27**			
				PROTECTED TOTAL			**14**		
					RECOMMENDED REMOVAL TOTAL			**0**	
					RECOMMENDED PROTECTED REMOVALS	**TOTAL**			**13**

SAN JOSE FOUNTAIN ALLEY
38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT — **WESTBANK CORPORATION**
600-1067 WEST CORDOVA STREET
VANCOUVER BC V6C 1C7
T +1 604 685 8986

ARCHITECT — **BJARKE INGELS GROUP**
61 BROADWAY, SUITE 3300
NEW YORK, NY 10006, USA
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CIVIL — **KIER & WRIGHT**
3350 SCOTT BLVD BUILDING 22
SANTA CLARA, CA 95054
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STRUCTURAL — **GLOTMAN SIMPSON CONS. ENG.**
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VANCOUVER, BC V6J 1N6
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MECHANICAL / PLUMBING / FIRE PROTECTION — **TAYLOR ENGINEERING**
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ALAMEDA, CA 94501
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ELECTRICAL — **NEMETZ (S/A) & ASSOCIATES LTD.**
2009 WEST 4TH AVENUE
VANCOUVER, BC V6J 1N3
T +1 604 736 6562

FIRE & LIFE SAFETY — **HOLMES FIRE**
235 MONTGOMERY STREET #1250
SAN FRANCISCO, CA 94104
T +1 415 693 1600

LANDSCAPE ARCHITECT — **BIONIC**
PO BOX 460309
SAN FRANCISCO, CA 94146
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GEOTECHNICAL — **LANGAN**
1 ALMADEN BLVD, SUITE 590
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T +1 408 283 3600

TRANSPORTATION — **FEHR & PEERS**
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PARKING — **WATRY DESIGN INC.**
SAN JOSE, CA
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DATE	ISSUE
11/13/2020	SITE DEVELOPMENT PERMIT SUBMITTAL

SEAL

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NOT FOR CONSTRUCTION

KEY PLAN (NTS)

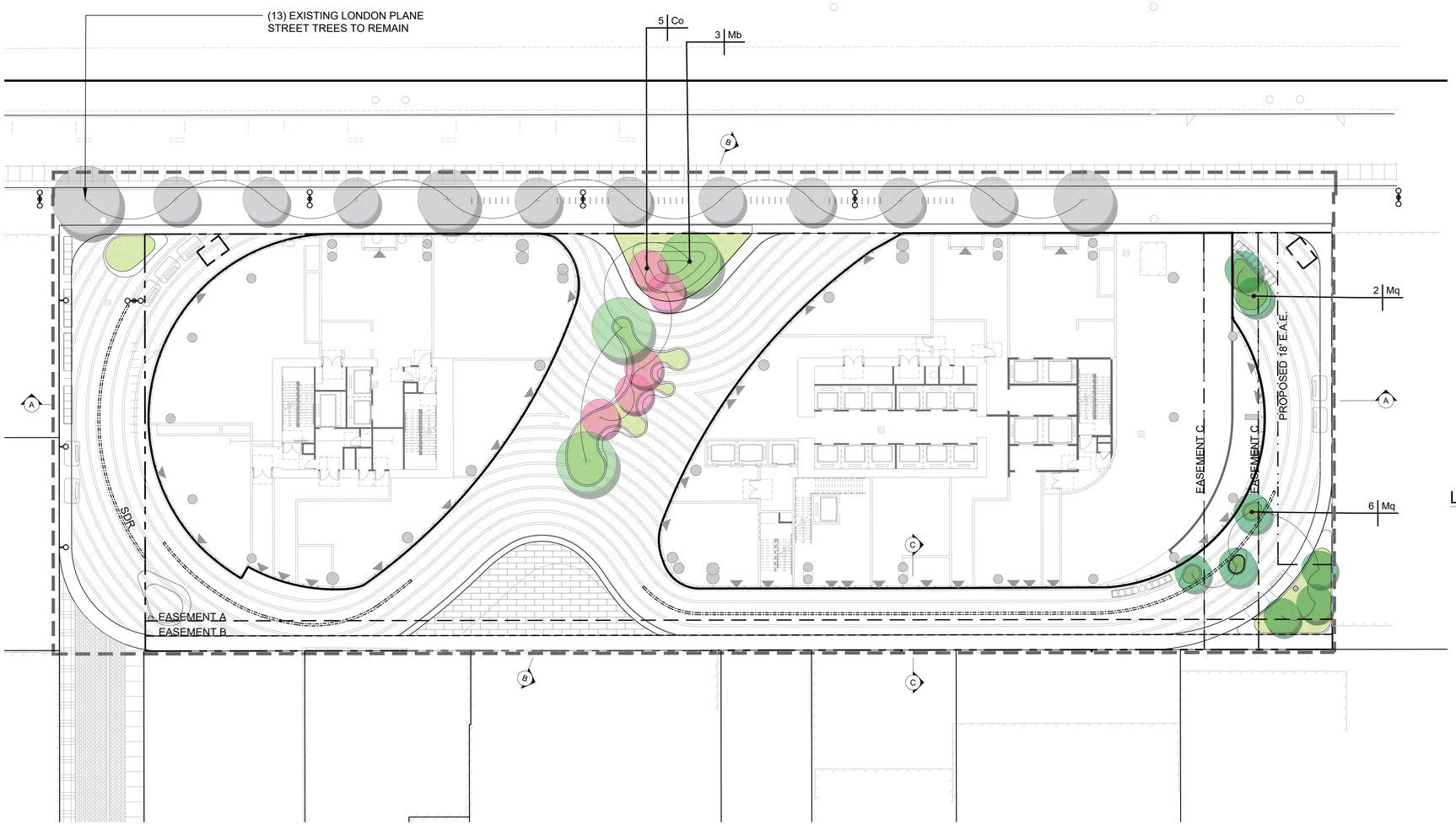
BAR SCALE 1" = 20'-0"
0 5 10 20 50'

SHEET NAME

TREE DISPOSITION PLAN, NOTES & SCHEDULE

PROJECT NO **20508**
DOB NO **5050**
SCALE **As indicated**
FORMAT **ARCH D**
DATE **6/1/2020**
SHEET NO **L-104**

10/26/2020 3:06:56 PM



GENERAL NOTES

1 LANDSCAPE LIMIT OF WORK OFFSET 2' FOR CLARITY

2. STREET TREES SHOWN IN THE PUBLIC RIGHT OF WAY ARE FOR INFORMATION ONLY. THE PLANNING PERMIT DOES NOT AUTHORIZE THE INSTALLATION OR REMOVAL OF TREES IN THE PUBLIC RIGHT OF WAY. ACTUAL STREET TREE LOCATION WILL BE DETERMINED BY PUBLIC WORKS AT THE IMPLEMENTATION STAGE ON THE PUBLIC IMPROVEMENT PLAN. THE INSTALLATION OR REMOVAL OF THE STREET TREES REQUIRES A PERMIT FROM THE DEPARTMENT OF TRANSPORTATION. THE CITY ARBORIST WILL SPECIFY THE SPECIES.

3. ALL PLANTING AREAS SHALL RECEIVE 3 INCHES OF COMPOSTED NON-FLOATABLE MULCH. PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTING AND SIDE SLOPES.

4. STREET TREE SHOWN ON THIS PLAN ARE EXISTING. STREET TREE REMOVAL SHALL BE DETERMINED BY THE CITY OF SAN JOSE AT THE STREET IMPROVEMENT PERMIT STAGE. ALL EXISTING TREE INFORMATION IS PROVIDED ON THE PROJECT ARBORIST REPORT AND THE TREE DISPOSITION PLAN. A TREE REMOVAL PERMIT WITH PROPOSED REPLACEMENT TREES SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY ARBORIST.

5 LANDSCAPE IRRIGATION PLAN SHALL BE SUBMITTED AS PART OF STREET IMPROVEMENT PERMIT REQUIREMENTS FOR CITY'S REVIEW AND APPROVAL.

7. IRRIGATION POC PER CIVIL UTILITY PLANS.

LEGEND

- BUILDING
- CURB (FRONT)
- CURB (BACK)
- LLOW — (LLOW) LANDSCAPE LIMIT OF WORK
- (PL) PROPERTY LINE
- EASEMENT A — 10.0' NON-BUILDABLE ACCESS EASEMENT 8, 9, 10, 11, 12 & 14
- EASEMENT B — 5.0' FLOATING EGRESS PATHWAY (DOC NO 15083570)
- EASEMENT C — 18.0' E.A.E. 7, 8, 9, 10, 11, 12 & 1
- SDR — SLOT DRAIN
- EXISTING STREET LIGHT
- ENTRY DOORS
- EXISTING STREET TREE TO REMAIN

SCHEDULE

- CANOPY TREE
- FLOWERING ACCENT TREE
- EVERGREEN TREE
- PLANTING AREA

SAN JOSE FOUNTAIN ALLEY

30 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1600
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE
11/13/2020	SITE DEVELOPMENT PERMIT SUBMITTAL

SEAL

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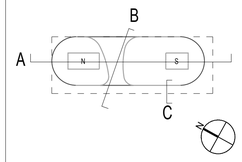
NOT FOR CONSTRUCTION

KEY PLAN
(NTS)



BAR SCALE 1" = 20'-0"

0 5 10 20 50'

SHEET NAME

PLANTING PLAN - LEVEL 1

PROJECT NO	20508
DOB NO	5050
SCALE	As indicated
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO

L-105

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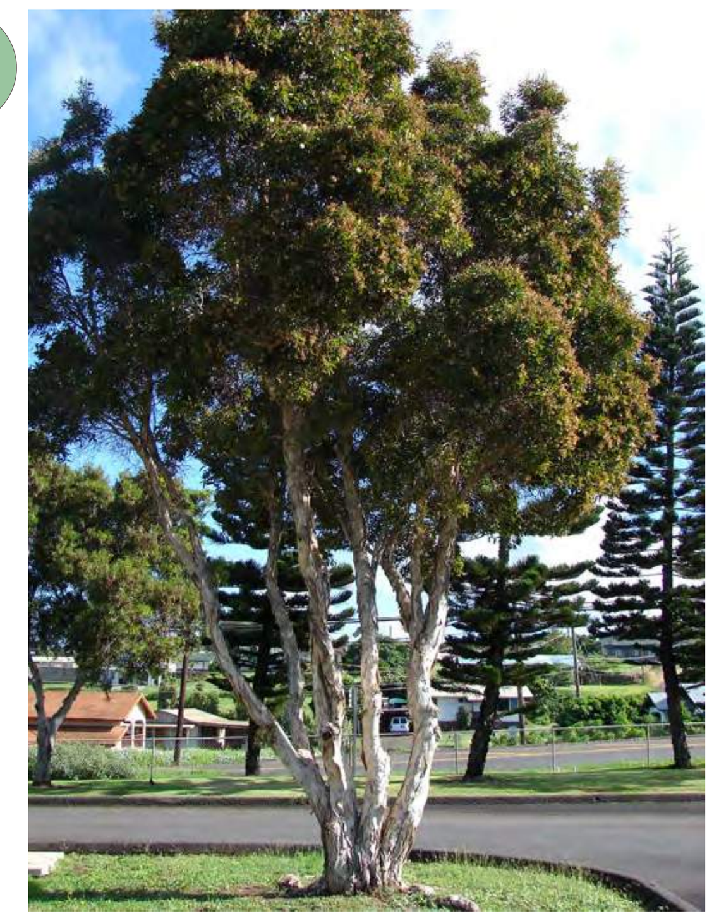
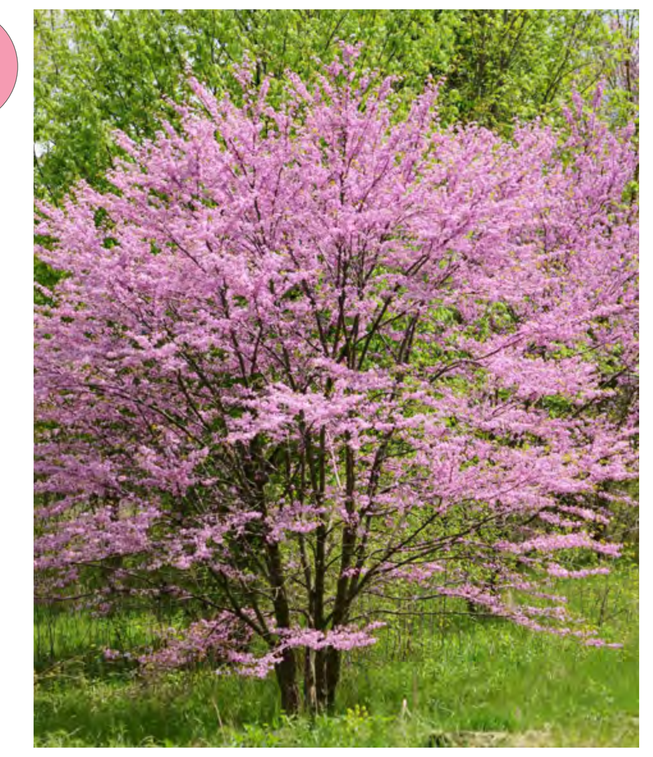
TREES

MAYTENUS BOARIA



MELALEUCA QUINQUENERVIA



CERCIS CANADENSIS VAR. TEXENSIS 'OKLAHOMA'

L1 PLANTING SCHEDULE

LEVEL 1											
								Cultural Size @ 10 Yr. Maturity in feet		Spacing in inches	WUCOLS
Symbol	Botanical Name	Common Name	Native or Adaptive	Evergreen/Deciduous	Sun/Shade	Size *	Std/Multi	H	W		L - M - H
Trees											
Mb	Maytenus boaria	Mayten	A	Evergreen	🟨	36" box	Std	30'	30'		M
Mq	Melaleuca quinquenervia	Paperbark Tea Tree	A	Evergreen	🟨	36" box	Multi	20'	15'		L
Co	Cercis canadensis var. texensis 'Oklahoma'	Oklahoma Redbud	A	Deciduous	🟨🟩	36" box	Multi	15'	15'		M
Shrubs											
Pm	Polystichum munitum	Western Sword Fern	N	Evergreen	🟩					36"	M
Rv	Ribes viburnifolium	Evergreen Currant	N	Evergreen	🟩					48"	L
Succulents											
Ab	Agave attenuata 'Boutin Blue'	Boutin Blue Foxtail Agave	A	Evergreen	🟨🟩					36"	L
Ap	Agave parryi	Parry's Agave	A	Evergreen	🟨🟩					24"	L
Aa	Aloe arborescens	Torch Aloe	A	Evergreen	🟨🟩					48"	L
Perennials											
Am	Achillea millefolium	Yarrow	N	Evergreen	🟨					12"	L
Hm	Heuchera maxima	Island Alum Root	N	Evergreen	🟩					24"	M
Ph	Penstemon heterophyllus 'Margarita Bop'	Foothill Beardtongue	N	Evergreen	🟨					24"	M
Sm	Salvia 'Mystic Spires'	Mystic Spires Sage	A	Evergreen	🟨					24"	M
Ss	Salvia spathacea	Hummingbird Sage	N	Evergreen	🟩					48"	L
Grasses											
Dc	Deschampsia cespitosa	Tufted Hair Grass	A	Evergreen	🟨🟩					30"	L
Fi	Festuca idahoensis	Idaho Fescue	N	Evergreen	🟨🟩					18"	L
Sa	Sesleria autumnalis	Autumn Moor Grass	A	Evergreen	🟩					18"	M
Bb	Bouteloua 'Blonde Ambition'	Blonde Ambition Blue Grama Grass	A	Deciduous	🟨					30"	L

SUCCULENTS

AGAVE ATTENUATA 'BOUTIN BLUE'

AGAVE PARRYI

ALOE ARBORESCENS

SHADE PERENNIALS

POLYSTICHUM MUNITUM

HEUCHERA MAXIMA

RIBES VIBURNIFOLIUM

SALVIA SPATHACEA

PENSTEMON 'MARGARITA BOP'

SALVIA 'MYSTIC SPIRES'

GRASSES

BOUTELOUA 'BLONDE AMBITION'

DESCHAMPSIA CESPITOSA

FESTUCA IDAHOENSIS

SESLERIA AUTUMNALIS

SUN PERENNIALS

ACHILLEA MILLEFOLIUM

10/26/2020 4:28:11 PM

SAN JOSE FOUNTAIN ALLEY
35 S 2ND STREET
SAN JOSE, CA 95113

CLIENT
WESTBANK CORPORATION
600-1067 WEST CORDOVA STREET
VANCOUVER BC V6C 1C7
T +1 604 685 8986

ARCHITECT
BJARKE INGELS GROUP
61 BROADWAY, SUITE 3300
NEW YORK, NY 10006, USA
T +1 347 549 4141

CIVIL
KIER & WRIGHT
3350 SCOTT BLVD BUILDING 22
SANTA CLARA, CA 95054
T +1 408 727 6665

STRUCTURAL
GLOTMAN SIMPSON CONS. ENG.
1661 WEST 5TH AVENUE
VANCOUVER, BC V6J 1N5
T +1 604 734 882

MECHANICAL / PLUMBING / FIRE PROTECTION
TAYLOR ENGINEERING
1080 MARINA VILLAGE PARKWAY, SUITE 501
ALAMEDA, CA 94501
T +1 510 749 9135

ELECTRICAL
NEMETZ (S/A) & ASSOCIATES LTD.
2009 WEST 4TH AVENUE
VANCOUVER, BC V6J 1N3
T +1 604 736 6562

FIRE & LIFE SAFETY
HOLMES FIRE
235 MONTGOMERY STREET #1250
SAN FRANCISCO, CA 94104
T +1 415 693 1600

LANDSCAPE ARCHITECT
BIONIC
PO BOX 460309
SAN FRANCISCO, CA 94146
T +1 415 206 0648

GEOTECHNICAL
LANGAN
1 ALMADEN BLVD, SUITE 590
SAN JOSE, CA 95113
T +1 408 283 3600

TRANSPORTATION
FEHR & PEERS
160 W. SANTA CLARA STREET, SUITE 675
SAN JOSE, CA 95113
T +1 408 278 1700

PARKING
WATRY DESIGN INC.
SAN JOSE, CA
T +1 408 392 7900

DATE	ISSUE
11/13/2020	SITE DEVELOPMENT PERMIT SUBMITTAL

SEAL

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NOT FOR CONSTRUCTION

KEY PLAN (NTS)

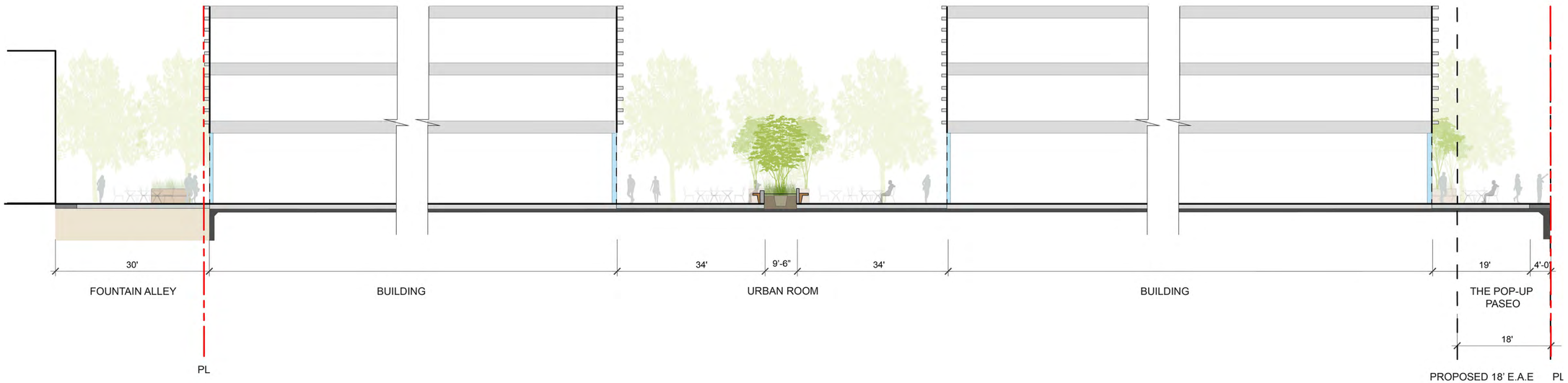
BAR SCALE

SHEET NAME

PLANTING SCHEDULE & PALETTE - LEVEL 1

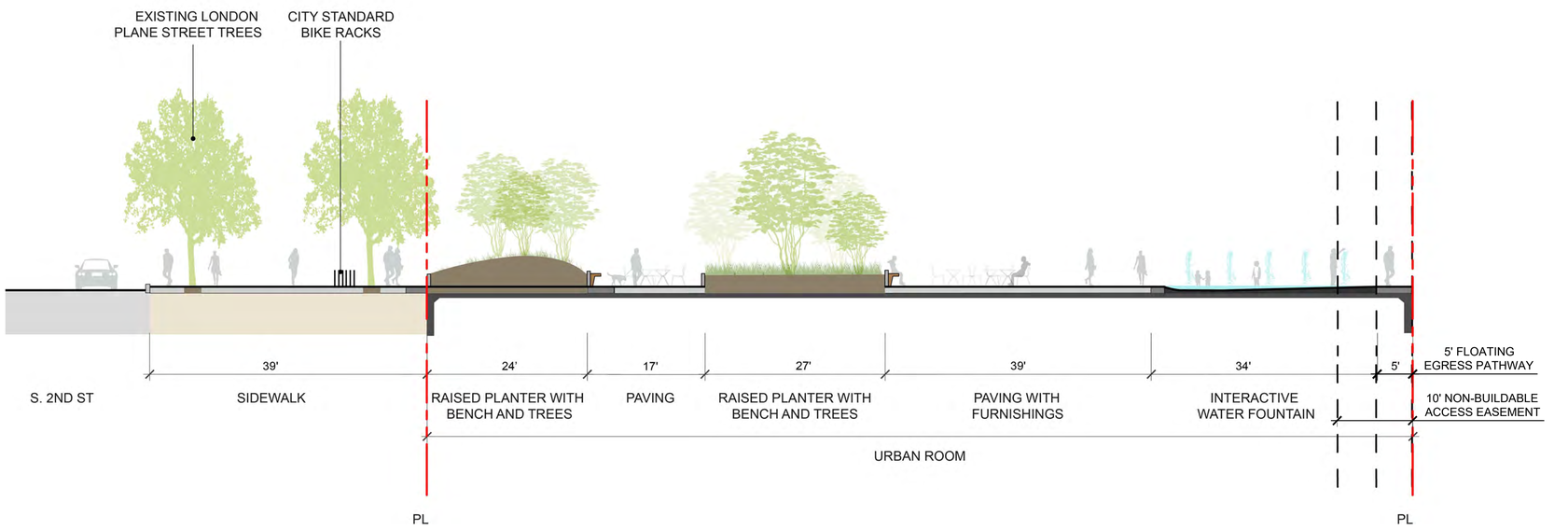
PROJECT NO. 20508
DOB NO 5050
SCALE As indicated
FORMAT ARCH D
DATE 8/1/2020

SHEET NO
L-106



SECTION

SCALE: 1" = 10' A



SECTION

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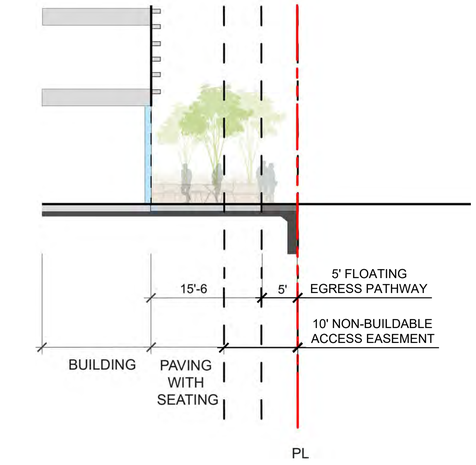

SECTION

SCALE: 1" = 10' C

10/28/2020 5:11:09 PM

SAN JOSE FOUNTAIN ALLEY

30 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 9565
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1600
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE
11/13/2020	SITE DEVELOPMENT PERMIT SUBMITTAL

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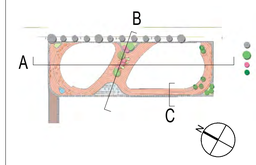
KEY PLAN (NTS)



BAR SCALE 1" = 10'-0"

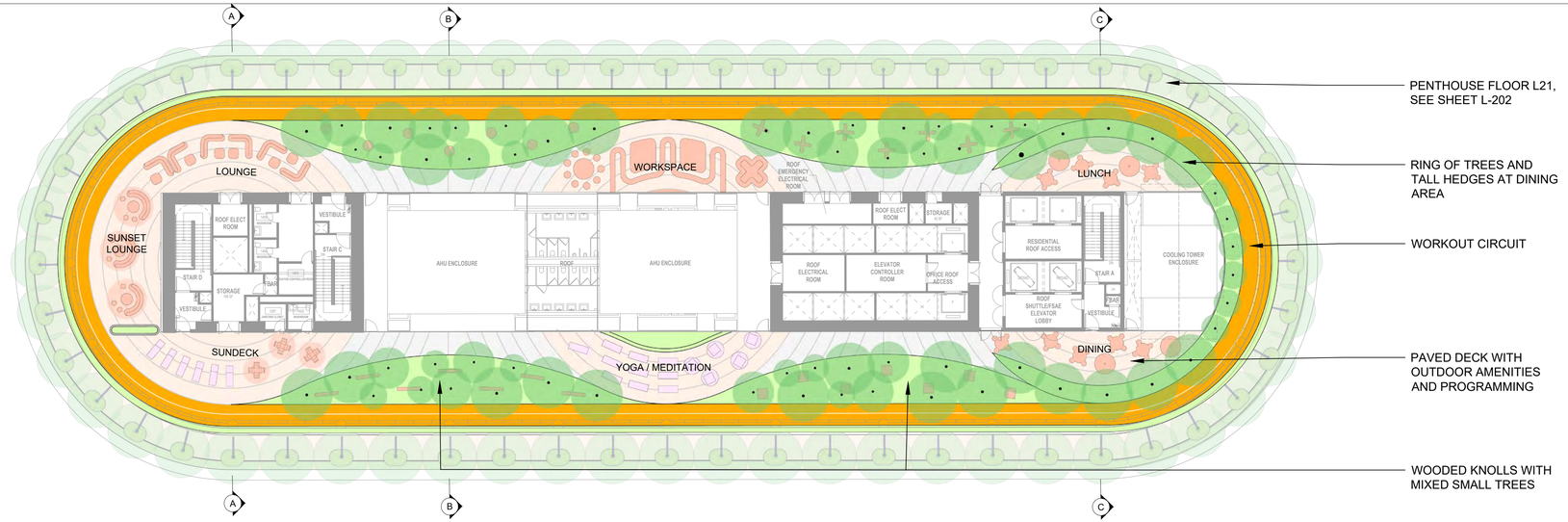
0 5 10 25'

SHEET NAME

LANDSCAPE SECTIONS - LEVEL 1

PROJECT NO	20508
DOB NO	5050
SCALE	As indicated
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO **L-107**



PENTHOUSE FLOOR L21, SEE SHEET L-202

RING OF TREES AND TALL HEDGES AT DINING AREA

WORKOUT CIRCUIT

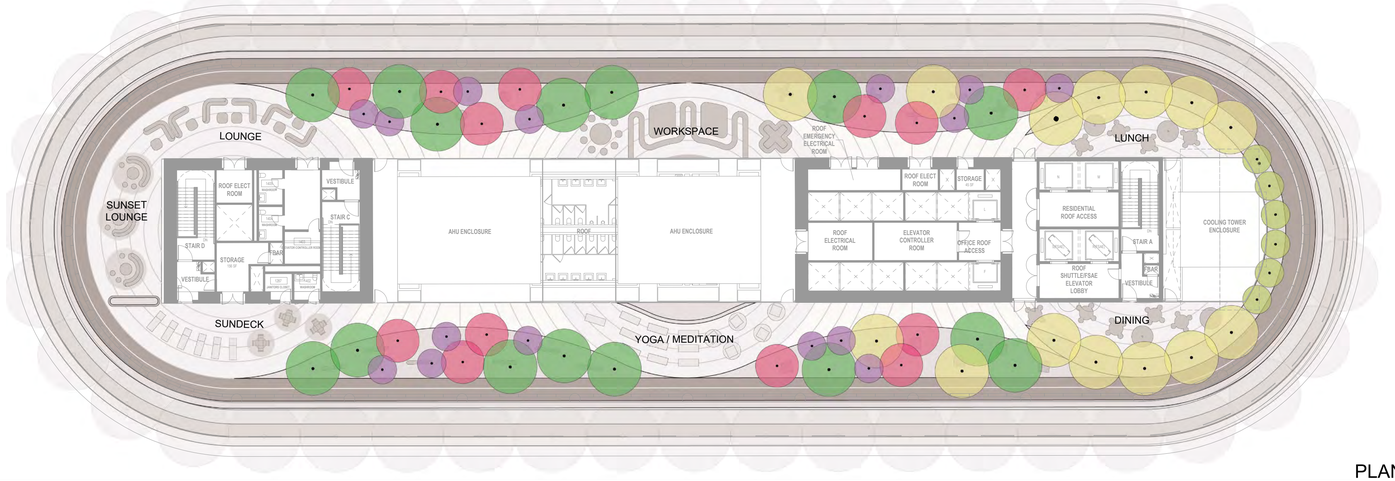
PAVED DECK WITH OUTDOOR AMENITIES AND PROGRAMMING

WOODED KNOLLS WITH MIXED SMALL TREES

SECTION

ILLUSTRATIVE LANDSCAPE PLAN (A)

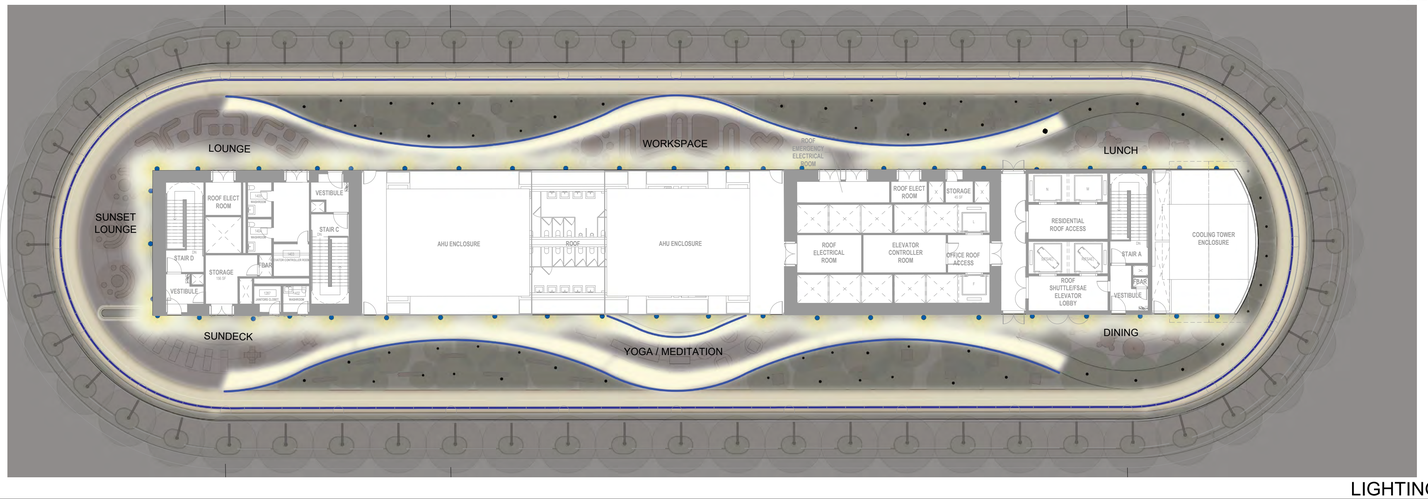
SCALE: 1" = 20'



SECTION

PLANTING PLAN (B)

SCALE: 1" = 20'



SECTION

LIGHTING PLAN (C)

SCALE: 1" = 20'

SCHEDULE

DECIDUOUS FLOWERING TREE

EVERGREEN ACCENT TREE

DECEDIOUS ACCENT TREE

SMALL FLOWERING ACCENT TREE/ LARGE SHRUB

HEDGE TREE

BUILDING MOUNTED LIGHTING

GUARDRAIL / EDGE INTEGRATED LIGHTING

INTEGRATED PLANTER EDGE LIGHTING

10/28/2020 5:09:47 PM

SAN JOSE FOUNTAIN ALLEY

30 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 2300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1681 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1500
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE
11/13/2020	SITE DEVELOPMENT PERMIT SUBMITTAL

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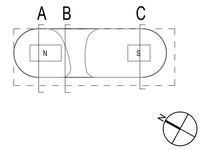
KEY PLAN (NTS)



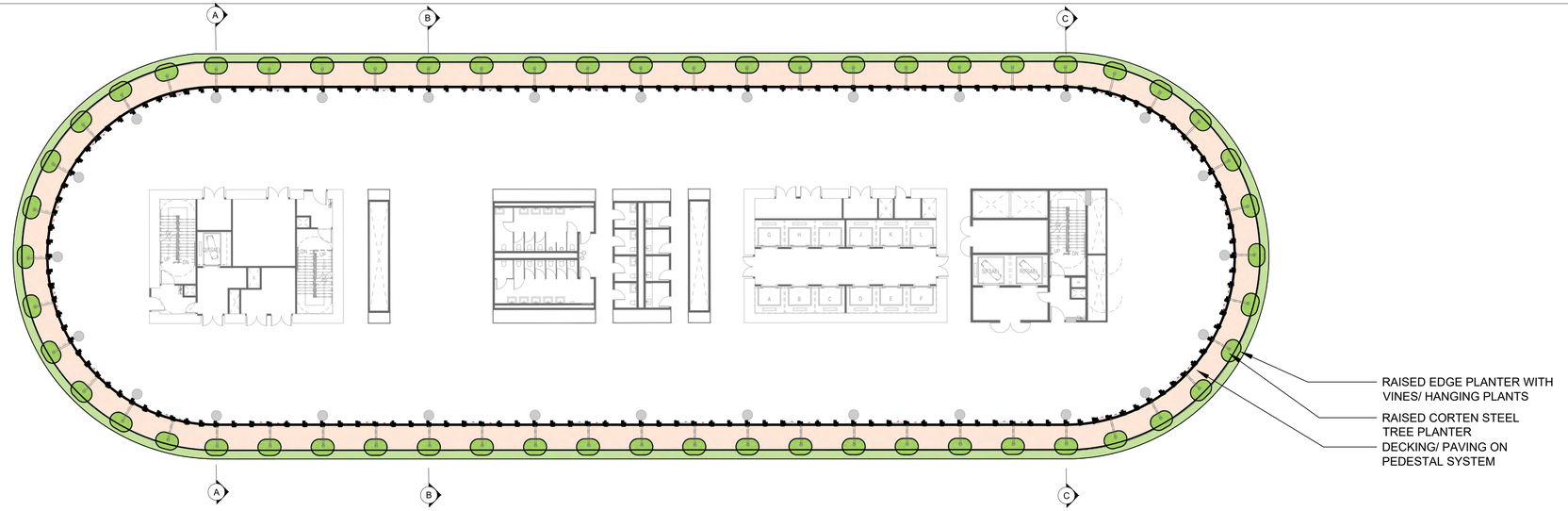
BAR SCALE 1" = 20'-0"

0 5 10 20 50'

SHEET NAME

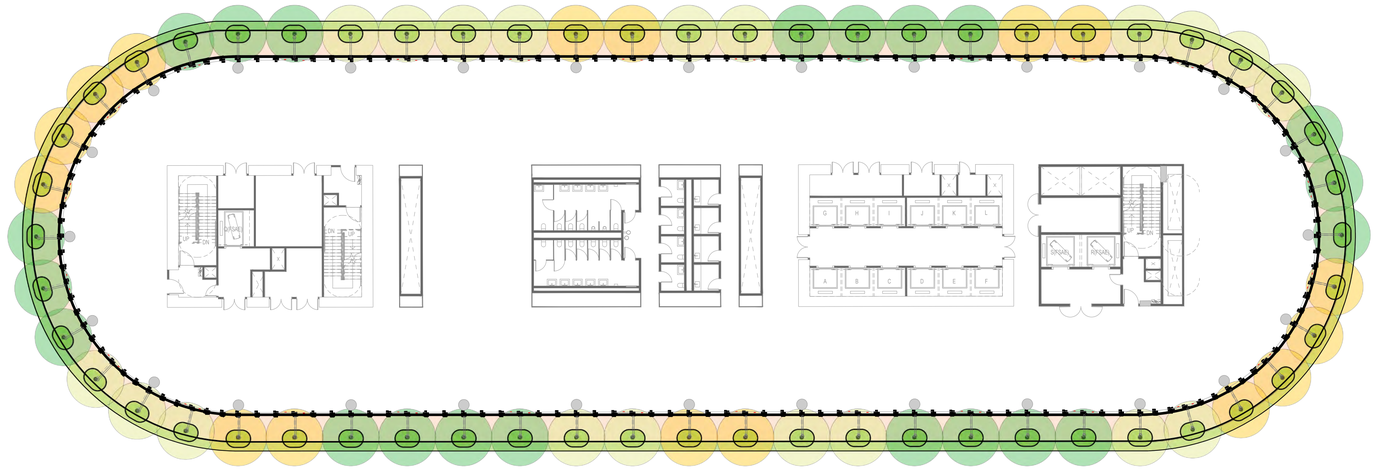
ILLUSTRATIVE LANDSCAPE & LIGHTING PLAN - LEVEL 22

PROJECT NO	**20508**
DOB NO	**5050**
SCALE	**As indicated**
FORMAT	**ARCH D**
DATE	**6/1/2020**
SHEET NO	**L-201**



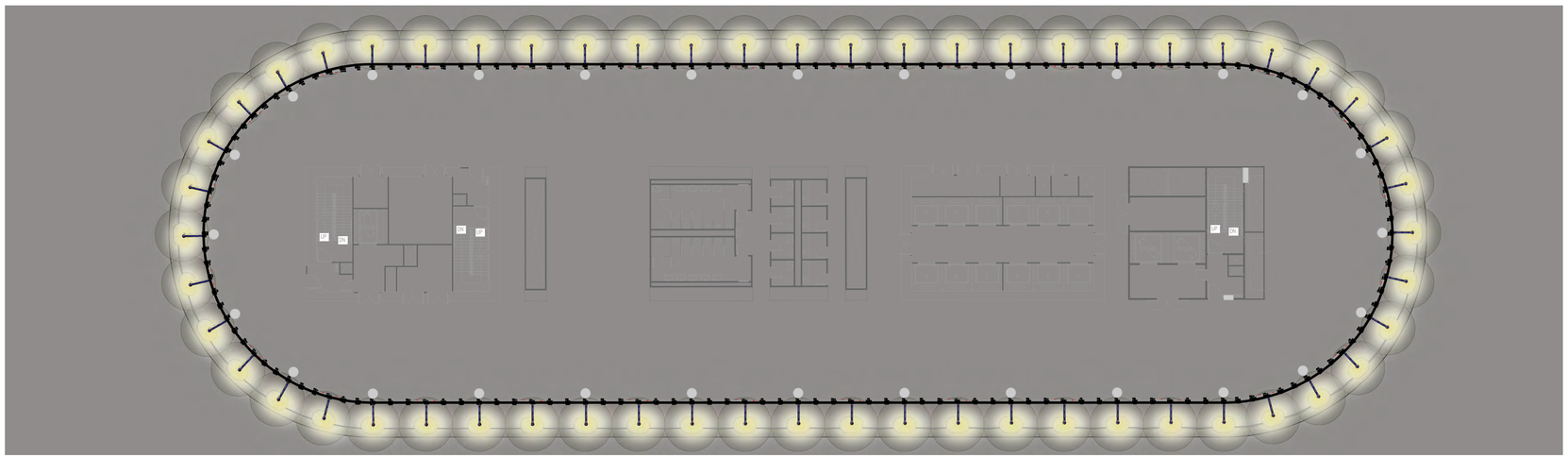
ILLUSTRATIVE LANDSCAPE PLAN - PAVING & PLANTERS (A)
SCALE: 1" = 20'

PLAN



ILLUSTRATIVE TREE PLANTING PLAN (B)
SCALE: 1" = 20'

PLAN



ILLUSTRATIVE LIGHTING PLAN (C)
SCALE: 1" = 20'

PLAN

SCHEDULE

- EVERGREEN CANOPY TREE
- DECIDUOUS CANOPY TREE
- FLOWERING TREE
- BUILDING MOUNTED TREE DOWN LIGHTS

SAN JOSE FOUNTAIN ALLEY

38 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
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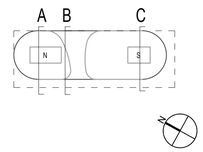
KEY PLAN (NTS)



BAR SCALE 1" = 20'-0"

0 5 10 20 50'

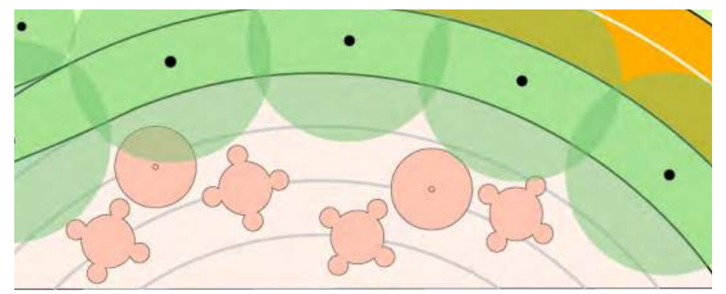
SHEET NAME

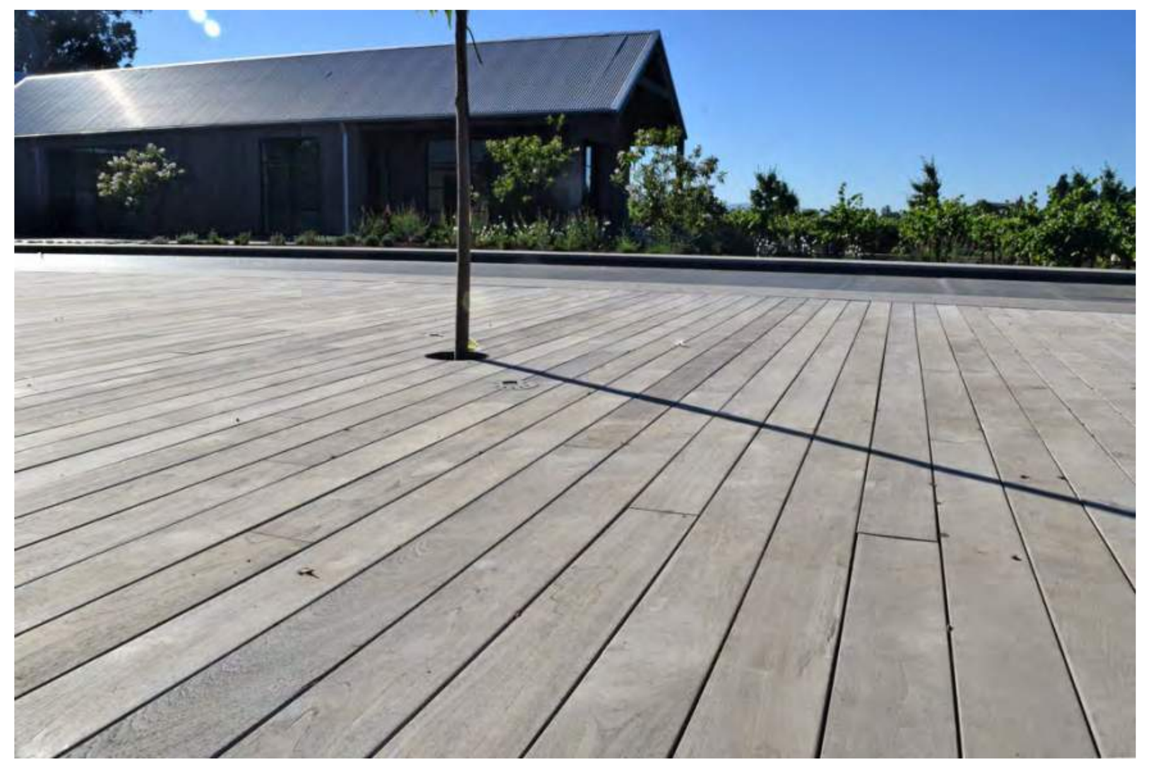
ILLUSTRATIVE LANDSCAPE & LIGHTING PLAN- LEVEL 21

PROJECT NO	20508
DOB NO	5050
SCALE	As indicated
FORMAT	ARCH D
DATE	6/1/2020

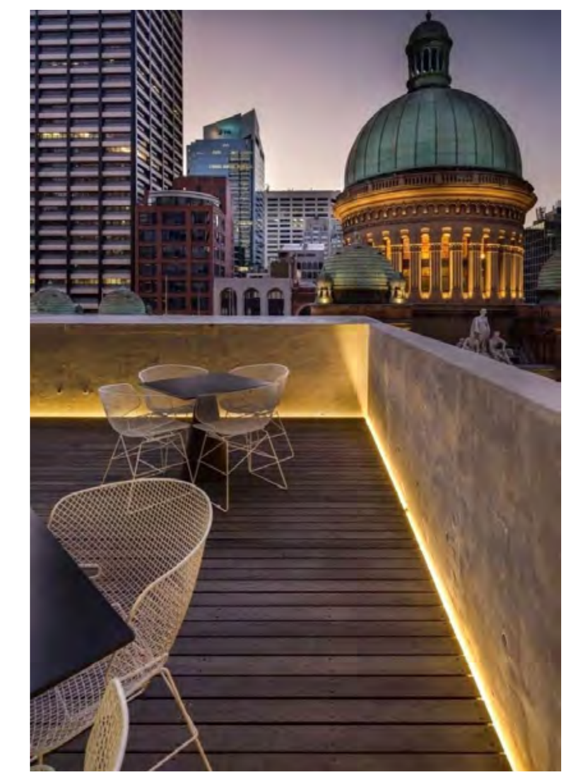
SHEET NO **L-202**

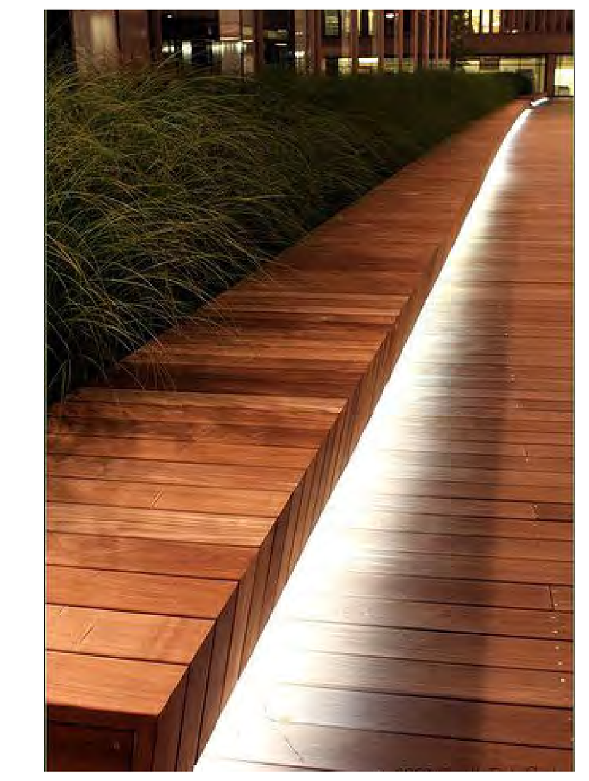
11/2/2020 5:40:41 PM



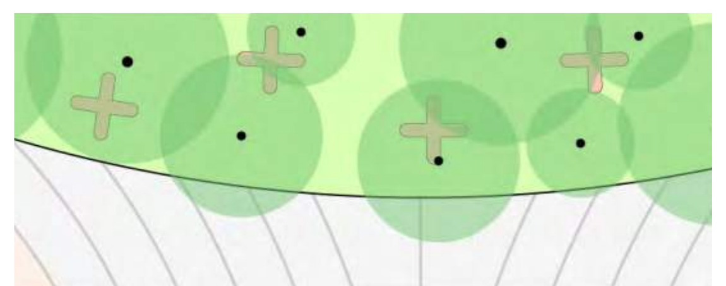


HARDWOOD DECKING



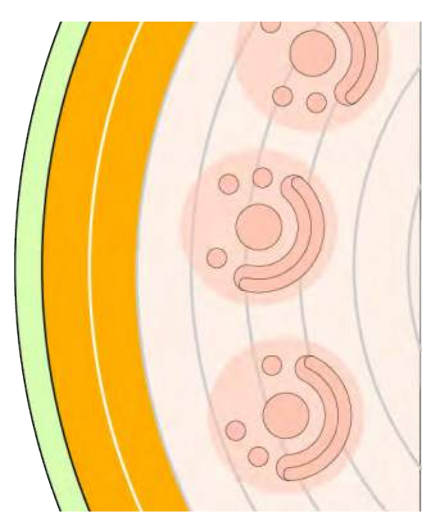


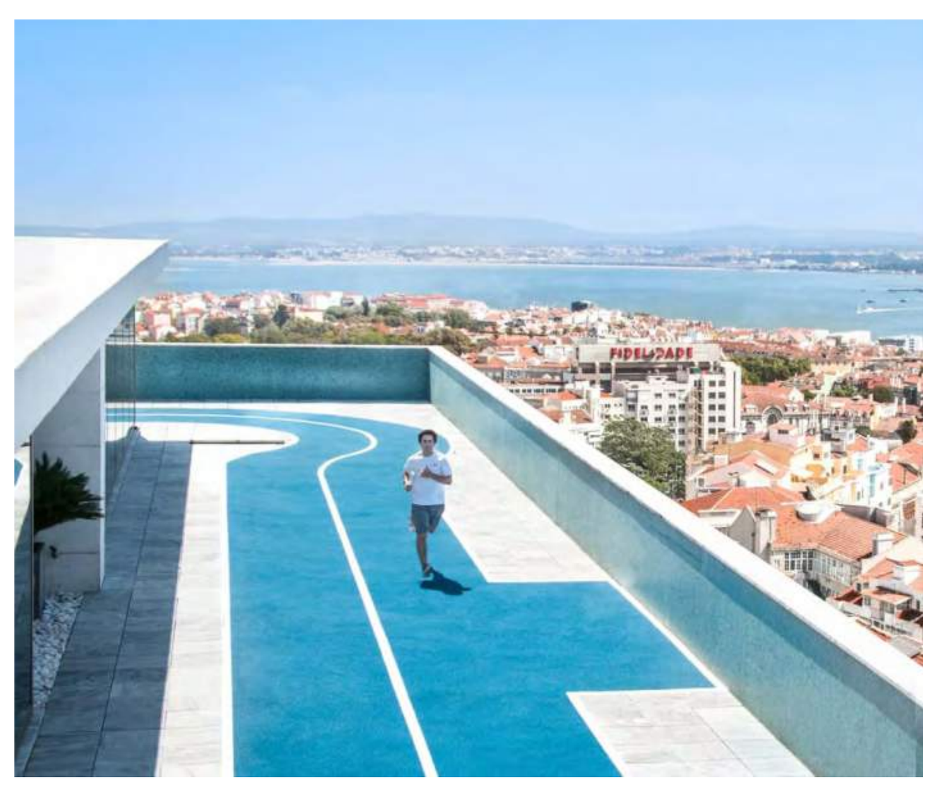
RECLAIMED HARDWOOD SEATING W/ INTEGRATED LIGHTING



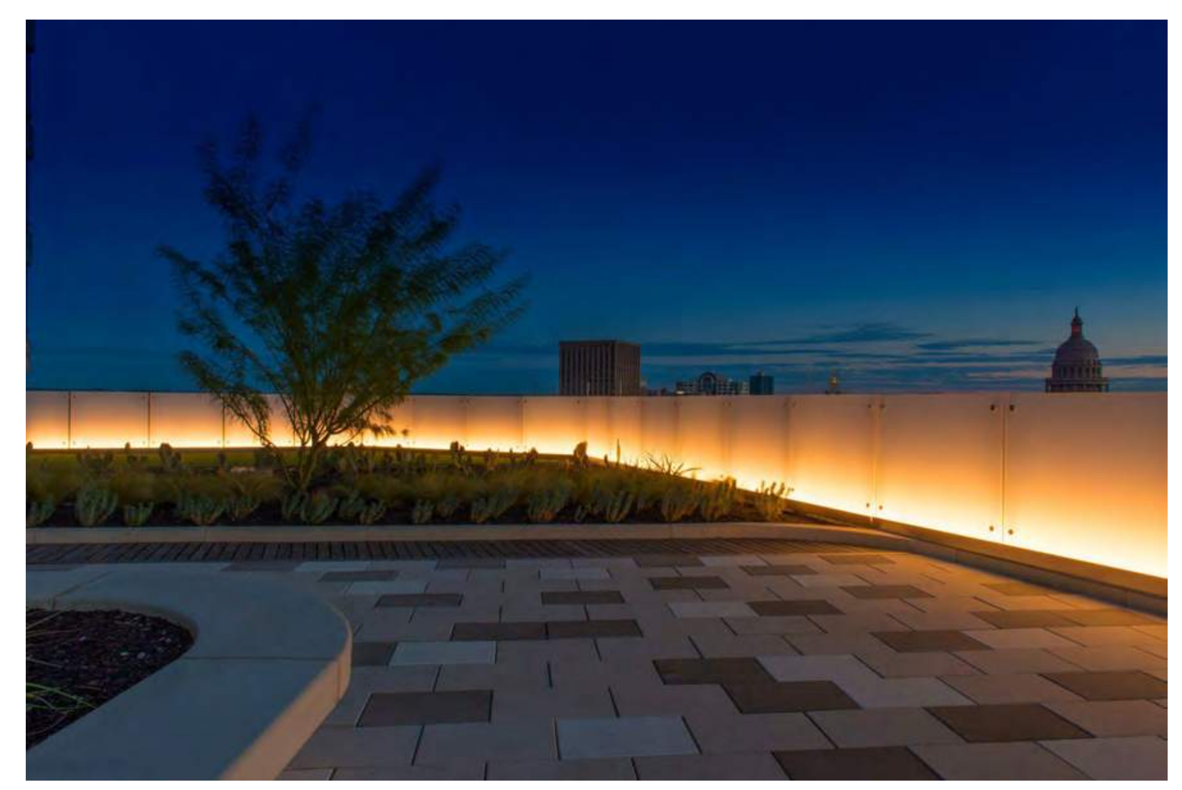
OUTDOOR UNIT PAVING ON PEDESTAL SYSTEMS

LOOSE FURNISHINGS (LOUNGE, DINING)

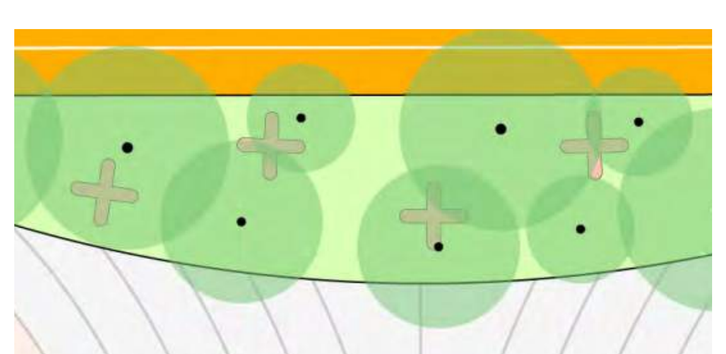




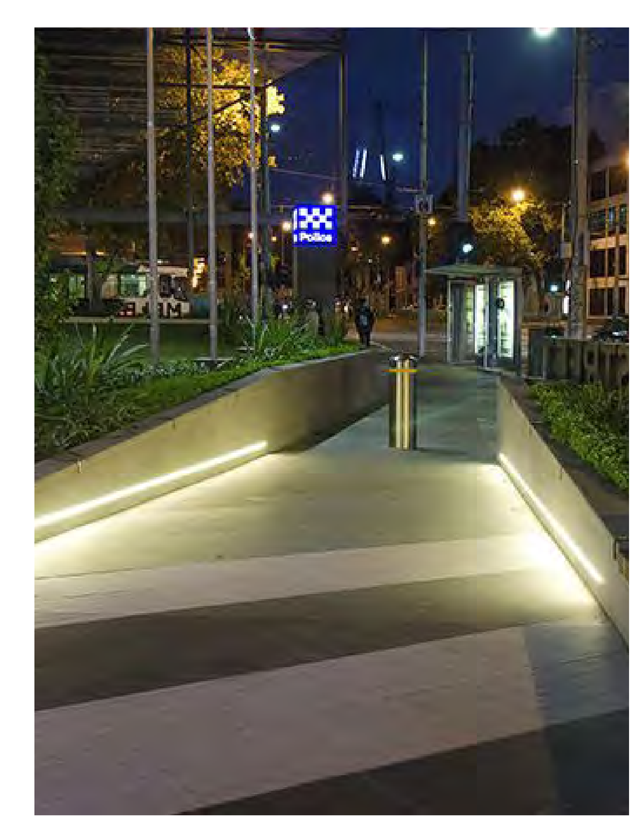
RUNNING TRACK W/ SYNTHETIC SURFACING

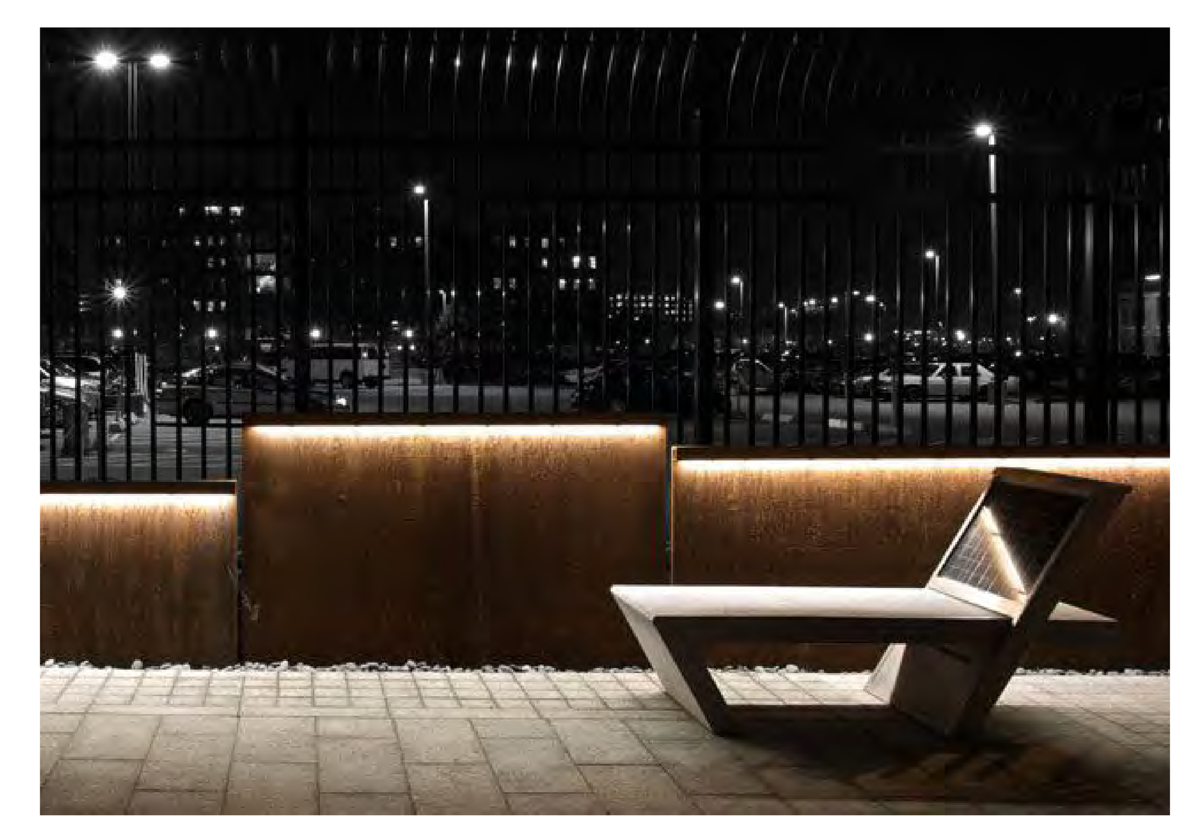


GUARDRAIL/ EDGE INTEGRATED LIGHTING



PLANTING AREAS WITH RAISED EDGING (PRECAST CONCRETE, CORTEN STEEL)





INTEGRATED EDGE LIGHTING

SAN JOSE FOUNTAIN ALLEY
35 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	WESTBANK CORPORATION 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	BJARKE INGELS GROUP 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	KIER & WRIGHT 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	GLOTMAN SIMPSON CONS. ENG. 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	TAYLOR ENGINEERING 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	NEMETZ (S/A) & ASSOCIATES LTD. 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	HOLMES FIRE 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1600
LANDSCAPE ARCHITECT	BIONIC PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	LANGAN 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	FEHR & PEERS 160 W SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	WATRY DESIGN INC. SAN JOSE, CA T +1 408 392 7900

DATE	ISSUE
11/13/2020	SITE DEVELOPMENT PERMIT SUBMITTAL

SEAL

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NOT FOR CONSTRUCTION

KEY PLAN (NTS)

BAR SCALE

SHEET NAME

MATERIALS SCHEDULE & PALETTE - LEVEL 21& 22

PROJECT NO. 20508
DOB NO 5050
SCALE As indicated
FORMAT ARCH D
DATE 8/1/2020

SHEET NO

L-203

10/26/2020 4:28:11 PM


ARBUTUS 'MARINA'

OR


OLEA EUROPAEA 'SWAN HILL'


LAGERSTROEMIA 'NATCHEZ'

OR


SOPHORA JAPONICA


TIBOUCHINA URVILLEANA

OR


ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'


CERCIS CANADENSIS VAR. TEXENSIS 'OKLAHOMA'


PODOCARPUS GRACILIOR

ROOF


ARTEMISIA CALIFORNICA


ARCTOSTAPHYLOS 'SUNSET'


BACCHARIS PILULARIS 'PIGEON POINT'


ASTER CHILENSIS


SALVIA CLEVELANDII


ACHILLEA MILLEFOLIUM


MUHLENBERGIA RIGENS


ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'

PENTHOUSE GARDEN LOOP


QUERCUS AGRIFOLIA

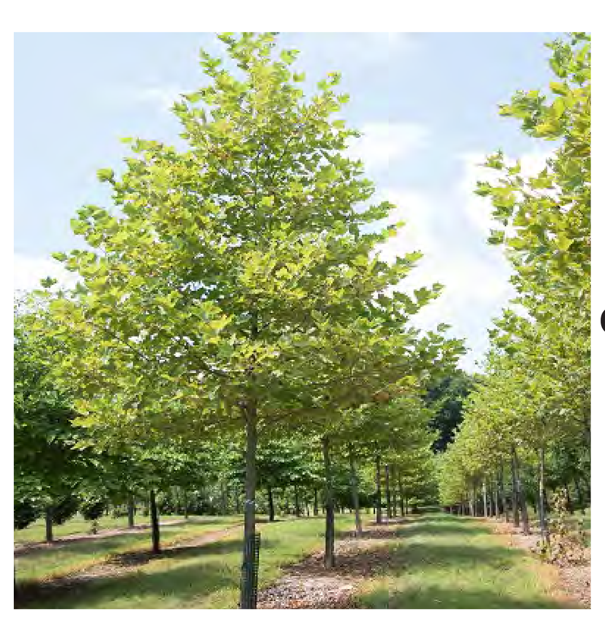
OR


MAGNOLIA GRANDIFLORA 'LITTLE GEM'


PISTACIA CHINENSIS

OR


KOELREUTERIA BIPINNATA


PLATANUS X ACERIFOLIA 'COLUMBIA'

OR


NYSSA SYLVATICA


PENNISETUM ALOPECUROIDES 'HAMELN'


TRACHELOSPERMUM JASMINOIDES

ROOF PLANTING SCHEDULE

ROOF											
								Cultural Size @ 10 Yr. Maturity in feet		Spacing in inches	WUCOLS
Symbol	Botanical Name	Common Name	Native or Adaptive	Evergreen/Deciduous	Sun/Shade	Size *	Std/Multi	H	W		L - M - H
Trees											
Am	Arbutus 'Marina'	Strawberry Tree	A	Evergreen	🟨	36" box	Multi	15'	15'		L
Ah	Arctostaphylos densiflora 'Howard McMinn'	Howard McMinn Manzanita	N	Evergreen	🟨🟩	24" box	Multi	10'	10'		L
Oe	Olea europaea 'Swan Hill'	Swan Hill Olive	A	Evergreen	🟨	36" box	Multi	15'	15'		L
Pg	Podocarpus gracilior	Fern Pine	A	Evergreen	🟨	24" box	Std	20'	10'		M
Tu	Tibouchina urvilleana	Princess Flower	A	Evergreen	🟨🟩	15 gal	Tree Form	10'	10'		M
Co	Cercis canadensis var. texenensis 'Oklahoma'	Oklahoma Redbud	A	Deciduous	🟨🟩	36" box	Multi	15'	15'		M
Ln	Lagerstroemia 'Natchez'	Crape Myrtle	A	Deciduous	🟨	36" box	Multi	20'	15'		L
Sj	Sophora japonica	Japanese Pagoda Tree	A	Deciduous	🟨	36" box	Std	20'	20'		L
Shrubs											
As	Arctostaphylos 'Sunset'	Sunset Manzanita	N	Evergreen	🟨🟩					36"	L
Ac	Artemisia californica	California Sagebrush	N	Evergreen	🟨					36"	L
Bp	Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Bush	N	Evergreen	🟨					60"	L
Cc	Heteromeles arbutifolia	Toyon	N	Evergreen	🟨🟩					48"	L
Rc	Rhamnus californica 'Eve Case'	Coffeeberry	N	Evergreen	🟨🟩					36"	L
Perennials											
Am	Achillea millefolium	Yarrow	N	Evergreen	🟨					12"	L
Ach	Aster chilensis	California aster	N	Evergreen	🟨🟩					24"	M
La	Lupinus albifrons	Silver Lupine	N	Evergreen	🟨					60"	L
Sc	Salvia clevelandii	Cleveland Sage	N	Evergreen	🟨					36"	L
Zc	Zauschneria californica	California Fuchsia	A	Evergreen	🟨					36"	L
Ec	Echinacea spp.	Coneflower	A	Deciduous	🟨					18"	M
Eca	Eschscholzia californica	California Poppy	N	Deciduous	🟨					12"	L
Grasses											
Ll	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	A	Evergreen	🟨🟩					30"	L
Mr	Muhlenbergia rigens	Deer Grass	N	Deciduous	🟨🟩					30"	L
Mc	Muhlenbergia capillaris	Pink Muhly Grass	A	Deciduous	🟨🟩					30"	L
Pah	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	A	Deciduous	🟨🟩					30"	L
Vines & Trailing Plants											
Ro	Rosmarinus officinalis 'Huntington Carpet'	Huntington Carpet Rosemary	A	Evergreen	🟨					24"	L
Pt	Parthenocissus tricuspidata	Boston Ivy	A	Deciduous	🟨🟩					48"	L

PENTHOUSE GARDEN LOOP											
								Cultural Size @ 10 Yr. Maturity in		Spacing in inches	WUCOLS
Symbol	Botanical Name	Common Name	Native or Adaptive	Evergreen/Deciduous	Sun/Shade	Size *	Std/Multi	H	W		L - M - H
Trees											
Mg	Magnolia grandiflora 'Little Gem'	Little Gem Southern Magnolia	A	Evergreen	🟨	36" box	Std				M
Qa	Quercus agrifolia	Coast Live Oak	N	Evergreen	🟨	36" box	Std				L
Kb	Koelreuteria bipinnata	Chinese Flame Tree	A	Deciduous	🟨	36" box	Std				M
Pc	Pistacia chinensis	Chinese Pistache	A	Deciduous	🟨	36" box	Std				L
Pr	Platanus x acerifolia 'Columbia'	London Plane	A	Deciduous	🟨	36" box	Std				M
Ns	Nyssa sylvatica	Tupelo	A	Deciduous	🟨	36" box	Std				M
Shrubs & Groundcovers											
As	Arctostaphylos 'Sunset'	Sunset Manzanita	N	Evergreen	🟨🟩					36"	L
Cy	Ceanothus griseus horizontalis var. 'Yankee Point'	Yankee Point California Lilac	N	Evergreen	🟨🟩					60"	L
Pm	Polystichum munitum	Western Sword Fern	N	Evergreen	🟩					36"	M
Rv	Ribes viburnifolium	Evergreen Currant	N	Evergreen	🟩					48"	L
Grasses											
Dc	Deschampsia cespitosa	Tufted Hair Grass	A	Evergreen	🟨🟩					30"	L
Ll	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	A	Evergreen	🟨🟩					30"	L
Mr	Muhlenbergia rigens	Deer Grass	N	Deciduous	🟨🟩					30"	L
Pah	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	A	Deciduous	🟨🟩					30"	L
Vines & Trailing Plants											
Cg	Casuarina glauca 'Cousin It'	She-Oak	A	Evergreen	🟨					48"	L
Ro	Rosmarinus officinalis 'Huntington Carpet'	Huntington Carpet Rosemary	A	Evergreen	🟨					24"	L
Sj	Solanum jasminoides	Potato Vine	A	Evergreen	🟨🟩					24"	M
Tj	Trachelospermum jasminoides	Star Jasmine	A	Evergreen	🟨🟩					48"	M
Pt	Parthenocissus tricuspidata	Boston Ivy	A	Deciduous	🟨🟩					48"	L

SAN JOSE FOUNTAIN ALLEY
35 S 2ND STREET
SAN JOSE, CA 95113

CLIENT — WESTBANK CORPORATION, 600-1067 WEST CORDOVA STREET, VANCOUVER BC V6C 1C7, T +1 604 685 8986

ARCHITECT — BIG — BJARKE INGELS GROUP, 61 BROADWAY, SUITE 3300, NEW YORK, NY 10006, USA, T +1 347 549 4141

CIVIL — KIER & WRIGHT, 3350 SCOTT BLVD BUILDING 22, SANTA CLARA, CA 95054, T +1 408 727 6665

STRUCTURAL — GLOTMAN SIMPSON CONS. ENG., 1661 WEST 5TH AVENUE, VANCOUVER, BC V6J 1N5, T +1 604 734 882

MECHANICAL / PLUMBING / FIRE PROTECTION — TAYLOR ENGINEERING, 1080 MARINA VILLAGE PARKWAY, SUITE 501, ALAMEDA, CA 94501, T +1 510 749 9135

ELECTRICAL — NEMETZ (S/A) & ASSOCIATES LTD., 2009 WEST 4TH AVENUE, VANCOUVER, BC V6J 1N3, T +1 604 736 6562

FIRE & LIFE SAFETY — HOLMES FIRE, 235 MONTGOMERY STREET #1250, SAN FRANCISCO, CA 94104, T +1 415 693 1600

LANDSCAPE ARCHITECT — bionic — BIONIC, PO BOX 460309, SAN FRANCISCO, CA 94146, T +1 415 206 0648

GEOTECHNICAL — LANGAN, 1 ALMADEN BLVD, SUITE 590, SAN JOSE, CA 95113, T +1 408 283 3600

TRANSPORTATION — FEHR & PEERS, 160 W. SANTA CLARA STREET, SUITE 675, SAN JOSE, CA 95113, T +1 408 278 1700

PARKING — WATRY DESIGN INC., SAN JOSE, CA, T +1 408 392 7900

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KEY PLAN (NTS)

BAR SCALE

SHEET NAME

PLANTING SCHEDULE & PALETTE- LEVEL 21&22

PROJECT NO. 20508
DOB NO 5050
SCALE As indicated
FORMAT ARCH D
DATE 8/1/2020

SHEET NO
L-204

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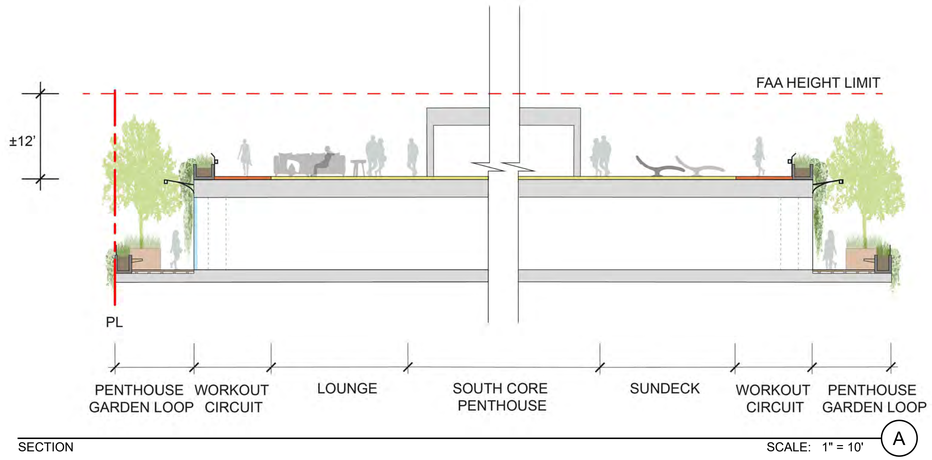

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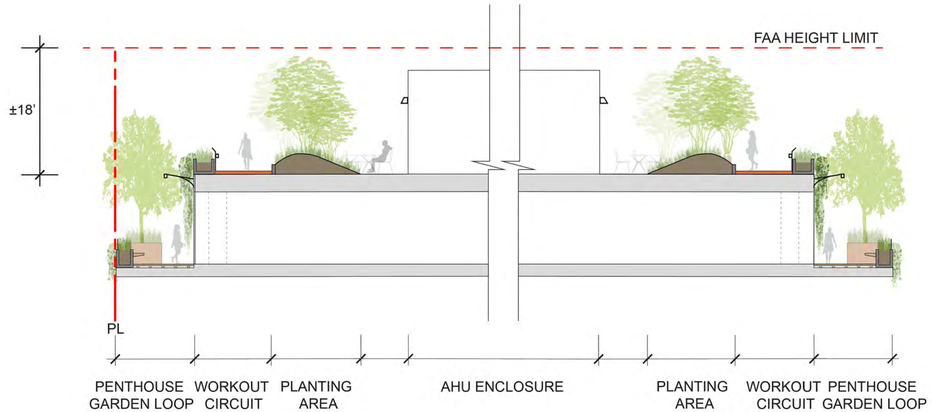
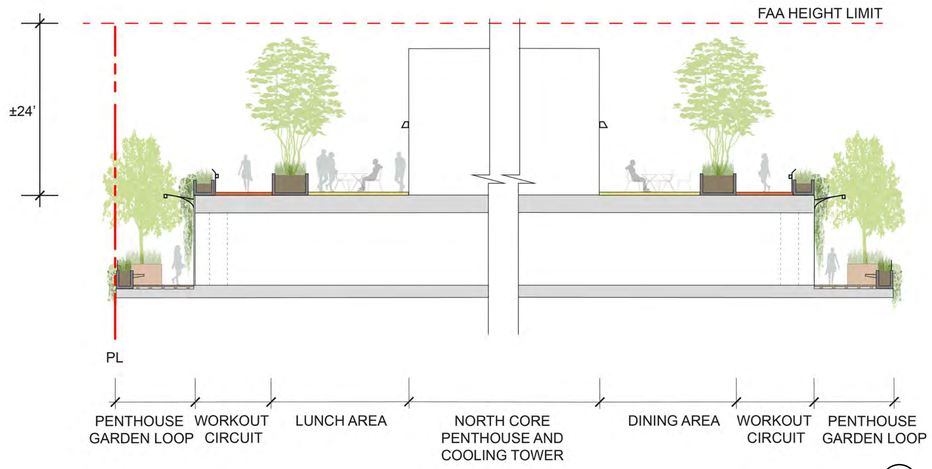


SECTION SCALE: 1" = 10' B



SECTION SCALE: 1" = 10' C

SAN JOSE FOUNTAIN ALLEY

30 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 3300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 9865
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1600
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

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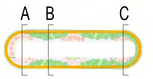
KEY PLAN (NTS)



BAR SCALE 1" = 10'-0"

0 5 10 20'

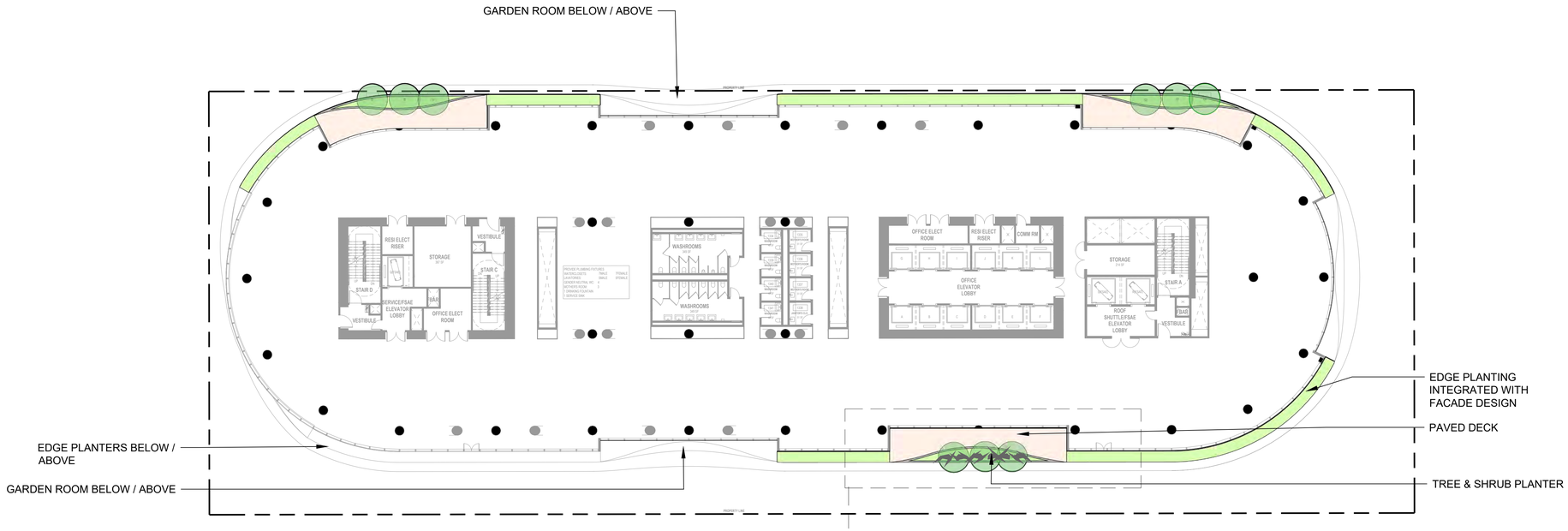
SHEET NAME

SECTIONS - LEVEL 21 & 22

PROJECT NO	20508
DOB NO	5050
SCALE	As indicated
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO **L-205**

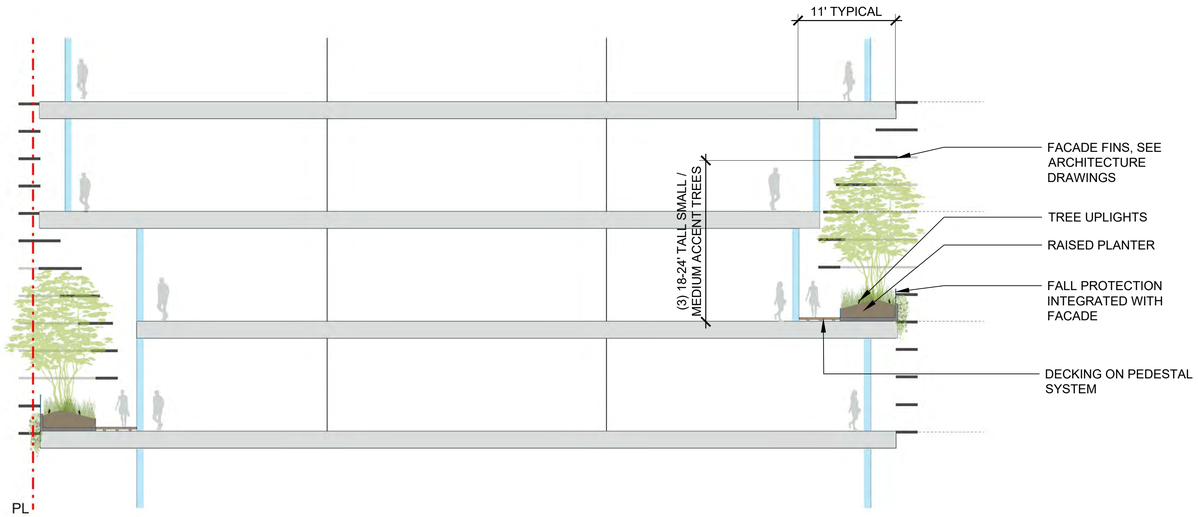
11/3/2020 10:27:03 AM



PLAN

ILLUSTRATIVE LANDSCAPE PLAN, TYPICAL FLOOR (A)

SCALE: 1" = 20'

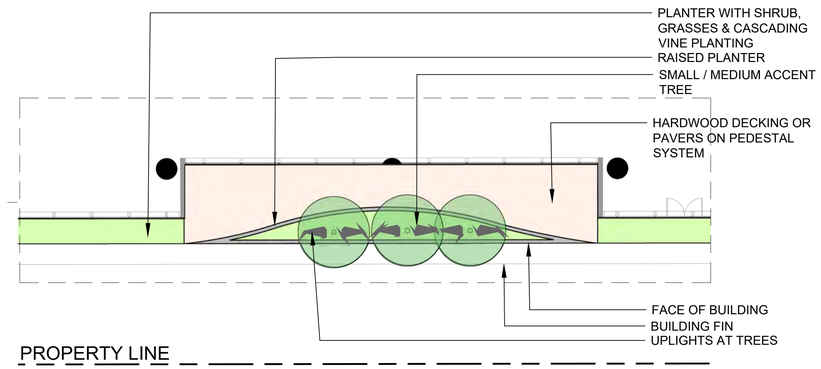


SECTION

GARDEN ROOMS LANDSCAPE SECTION (TYPICAL) (C)

SCALE: 1" = 10'

GARDEN ROOM



PLAN

GARDEN ROOM ILLUSTRATIVE PLAN ENLARGEMENT (B)

SCALE: 1" = 10'

SAN JOSE FOUNTAIN ALLEY

30 S 2ND STREET
SAN JOSE, CA 95113

CLIENT	**WESTBANK CORPORATION** 600-1067 WEST CORDOVA STREET VANCOUVER BC V6C 1C7 T +1 604 685 8986
ARCHITECT	**BJARKE INGELS GROUP** 61 BROADWAY, SUITE 2300 NEW YORK, NY 10006, USA T +1 347 549 4141
CIVIL	**KIER & WRIGHT** 3350 SCOTT BLVD BUILDING 22 SANTA CLARA, CA 95054 T +1 408 727 6665
STRUCTURAL	**GLOTMAN SIMPSON CONS. ENG.** 1681 WEST 5TH AVENUE VANCOUVER, BC V6J 1N6 T +1 604 734 882
MECHANICAL / PLUMBING / FIRE PROTECTION	**TAYLOR ENGINEERING** 1080 MARINA VILLAGE PARKWAY, SUITE 501 ALAMEDA, CA 94501 T +1 510 749 9135
ELECTRICAL	**NEMETZ (S/A) & ASSOCIATES LTD.** 2009 WEST 4TH AVENUE VANCOUVER, BC V6J 1N3 T +1 604 736 6562
FIRE & LIFE SAFETY	**HOLMES FIRE** 235 MONTGOMERY STREET #1250 SAN FRANCISCO, CA 94104 T +1 415 693 1500
LANDSCAPE ARCHITECT	**BIONIC** PO BOX 460309 SAN FRANCISCO, CA 94146 T +1 415 206 0648
GEOTECHNICAL	**LANGAN** 1 ALMADEN BLVD, SUITE 590 SAN JOSE, CA 95113 T +1 408 283 3600
TRANSPORTATION	**FEHR & PEERS** 160 W. SANTA CLARA STREET, SUITE 675 SAN JOSE, CA 95113 T +1 408 278 1700
PARKING	**WATRY DESIGN INC.** SAN JOSE, CA T +1 408 392 7900

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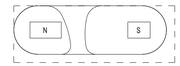
KEY PLAN (NTS)



BAR SCALE 1" = 20'-0"

0 5 10 20 50'

SHEET NAME

ILLUSTRATIVE (TYPICAL) GARDEN ROOM PLANS

PROJECT NO	20508
DOB NO	5050
SCALE	As indicated
FORMAT	ARCH D
DATE	6/1/2020

SHEET NO **L-301**

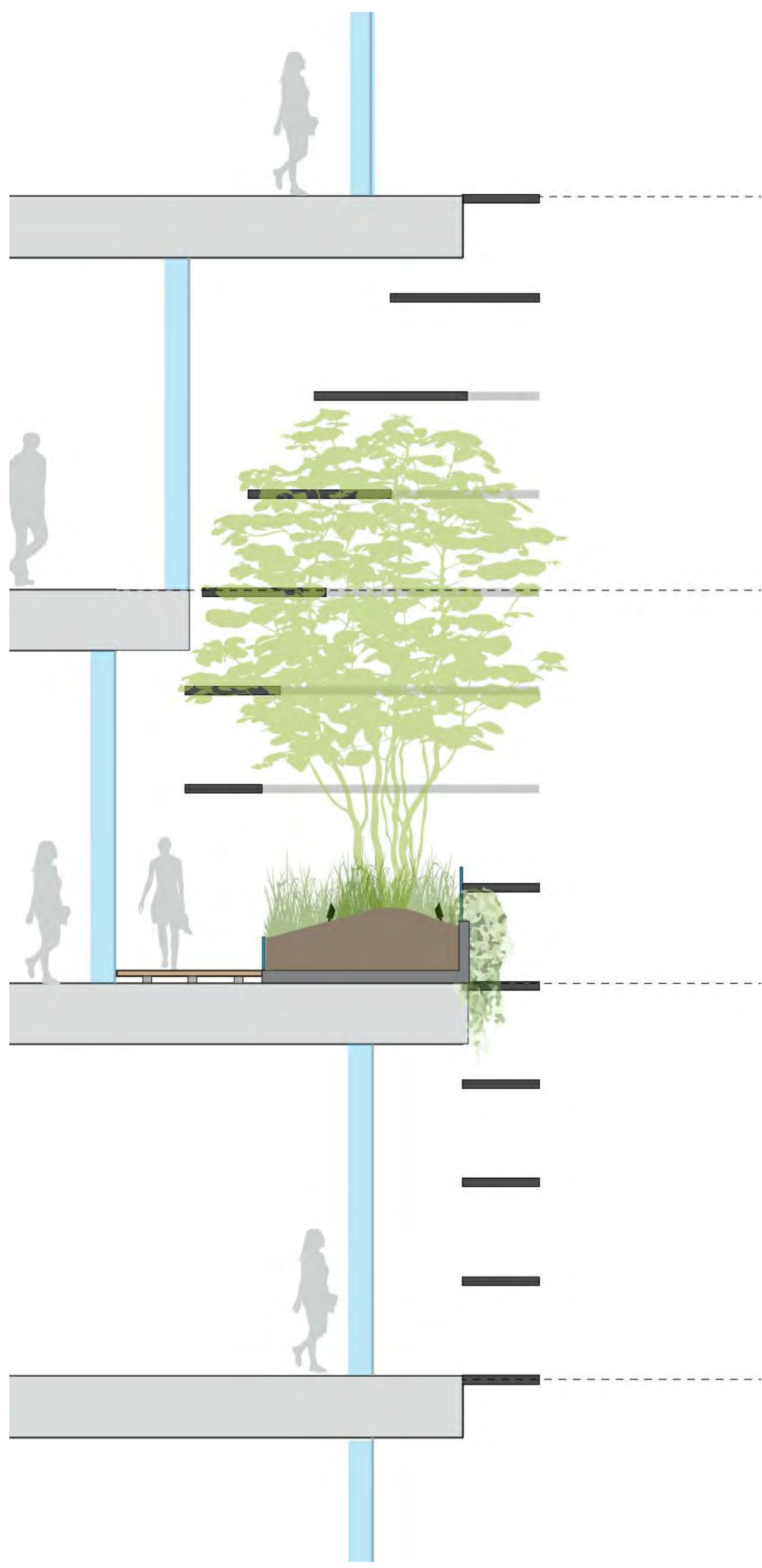
10/28/2020 5:22:43 PM

OLEA EUROPAEA ‘SWAN HILL’

CERCIDIUM ‘DESERT MUSEUM’

ARBUTUS ‘MARINA’

TREES



ARCTOSTAPHYLOS DENSIFLORA ‘HOWARD MCMINN’

CERCIS CANADENSIS VAR. TEXENSIS ‘OKLAHOMA’

NOTE:
EACH GARDEN ROOM WILL FEATURE A GROUP OF THREE SPECIMENS OF ONE OF THE ABOVE TREE SPECIES, E.G. THREE *OLEA EUROPAEA ‘SWAN HILL’* TREES, ALONG WITH A GROUND PLANE PLANT PALETTE OF GRASSES, SHRUBS, AND TRAILING PLANTS.

GARDEN ROOM TYPICAL PLANTING SCHEDULE

TERRACE / GARDEN ROOM											
								Cultural Size @ 10 Yr. Maturity in feet		Spacing in inches	WUCOLS
Symbol	Botanical Name	Common Name	Native or Adaptive	Evergreen/Deciduous	Sun/Shade	Size *	Std/Multi	H	W		L - M - H
Trees											
Am	Arbutus 'Marina'	Strawberry Tree	A	Evergreen	🟨	36" box	Multi	15'	15'		L
Ah	Arctostaphylos densiflora 'Howard McMinn'	Howard McMinn Manzanita	N	Evergreen	🟨🟩	15 gal	Multi	10'	10'		L
Oe	Olea europaea 'Swan Hill'	Swan Hill Olive	A	Evergreen	🟨	36" box	Multi	15'	15'		L
Cd	Cercidium 'Desert Museum'	Desert Museum Palo Verde	A	Deciduous	🟨	36" box	Multi	20'	20'		L
Co	Cercis canadensis var. texenensis 'Oklahoma'	Oklahoma Redbud	A	Deciduous	🟨🟩	36" box	Multi	15'	15'		M
Shrubs											
As	Arctostaphylos 'Sunset'	Sunset Manzanita	N	Evergreen	🟨🟩					36"	L
An	Athyrium niponicum	Japanese Painted Fern	A	Evergreen	🟩					24"	M
Cy	Ceanothus griseus horizontalis var. 'Yankee Point'	Yankee Point Ceanothus	N	Evergreen	🟨🟩					60"	L
Rc	Rhamnus californica 'Eve Case'	Eve Case Coffeeberry	N	Evergreen	🟨🟩					36"	M
Succulents											
Ab	Agave attenuata 'Boutin Blue'	Boutin Blue Foxtail Agave	A	Evergreen	🟨🟩					36"	L
Ap	Agave parryi	Parry's Agave	A	Evergreen	🟨🟩					24"	L
Dw	Dasylirion wheeleri	Desert Spoon	A	Evergreen	🟨🟩					48"	L
Perennials											
Af	Anigozanthos flavidus 'Yellow'	Yellow Kangaroo Paw	A	Evergreen	🟨					36"	L
Hp	Hesperaloe parviflora	Red Yucca	A	Evergreen	🟨🟩					36"	L
Zc	Zauschneria californica	California Fuchsia	N	Evergreen	🟨					36"	L
Grasses											
Coe	Carex oshimensis 'Everillo'	Japanese Sedge	A	Evergreen	🟩					18"	M
Ct	Chondropetalum tectorum	Cape Rush	A	Evergreen	🟨🟩					36"	L
Hs	Helictotrichon sempervirens	Blue Oat Grass	A	Evergreen	🟨					24"	L
Ll	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	A	Evergreen	🟨🟩					30"	L
Mr	Muhlenbergia rigens	Deer Grass	N	Deciduous	🟨🟩					30"	L
Vines & Trailing Plants											
Cg	Casuarina glauca 'Cousin It'	Swamp Oak	A	Evergreen	🟨					48"	L
Ro	Rosmarinus officinalis 'Huntington Carpet'	Huntington Carpet Rosemary	A	Evergreen	🟨					24"	L
Re	Russelia equisetiformis	Firecracker Plant	A	Evergreen	🟨🟩					36"	M
Sj	Solanum jasminoides	Potato Vine	A	Evergreen	🟨🟩					24"	M
Tj	Trachelospermum jasminoides	Star Jasmine	A	Evergreen	🟨🟩					48"	M
Pt	Parthenocissus tricuspidata	Boston Ivy	A	Deciduous	🟨🟩					48"	L

GROUNDCOVERS

ARCTOSTAPHYLOS ‘SUNSET’

CEANOTHUS GRISEUS HORIZONTALIS VAR ‘YANKEE POINT’

SUCCULENTS

DASYLIRION WHEELERI

AGAVE ATTENUATA ‘BOUTIN BLUE’

AGAVE PARRYI

PERENNIALS, GRASSES

ANIGOZANTHOS FLAVIDUS ‘YELLOW’

HESPERALOE PARVIFLORA

HELICTOTRICHON SEMPER-VIRENS

TRAILING PLANTS

ROSMARINUS OFFICINALIS HUNTINGTON CARPET

RUSSELIA EQUISETIFORMIS

TRACHELOSPERMUM JASMINOIDES

SAN JOSE FOUNTAIN ALLEY
35 S 2ND STREET
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PARKING — WATRY DESIGN INC.
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DATE	ISSUE
11/13/2020	SITE DEVELOPMENT PERMIT SUBMITTAL

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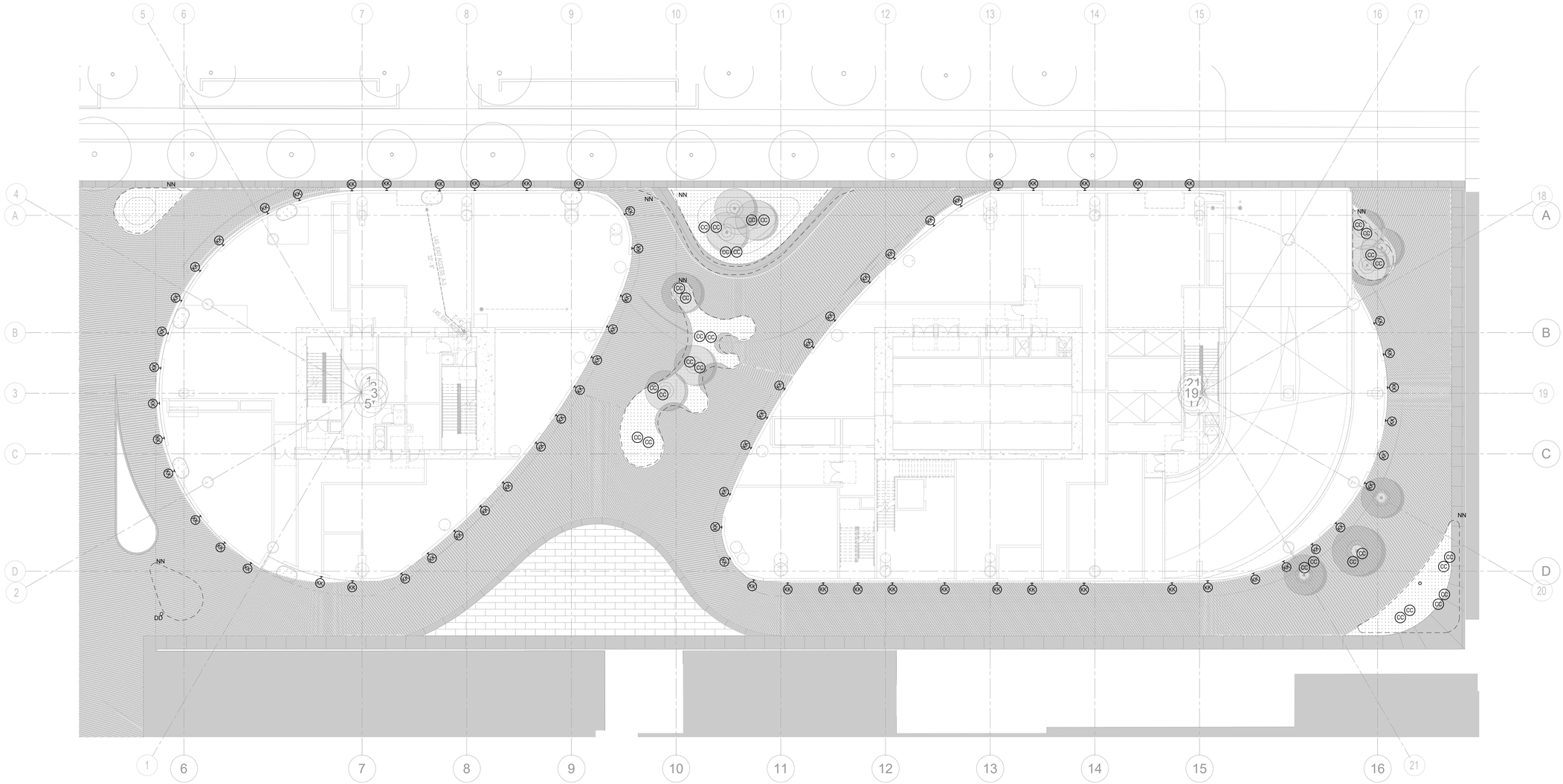
KEY PLAN (NTS)

BAR SCALE

SHEET NAME
PLANTING SCHEDULE & PALETTE- GARDEN ROOM (TYPICAL)

PROJECT NO. 20508
DOB NO 5050
SCALE As indicated
FORMAT ARCH D
DATE 8/1/2020

SHEET NO
L-302



Luminaire Schedule					
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	32	LED-e66-MFL-12-ITL85922	0.850	BK LIGHTING, TREE DOWNLIGHT, 458 LUMENS, 7W	CC
	72	LOG HO-100_277-24-30K-WW(X)F-	0.850	LUMENPULSE LIGHTING, LUMENFACADE NANO HORIZONTAL, 2 FT	KK
	2	ullc100-70w64led3k-g2-lev5	0.850	LUMEC SOLECITY, LIGHT COLUMN, 16FT	DD

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE LIGHTING	Illuminance	Fc	2.61	30.69	0.04	65.25	767.25

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2020-11-13	ISSUED FOR SDP

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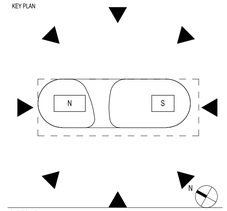

BAR SCALE

SHEET NAME

SITE LIGHTING PLAN

PROJECT NO

SHEET NO

DOB NO

SCALE
1/16" = 1'-0"

FORMAT
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DATE

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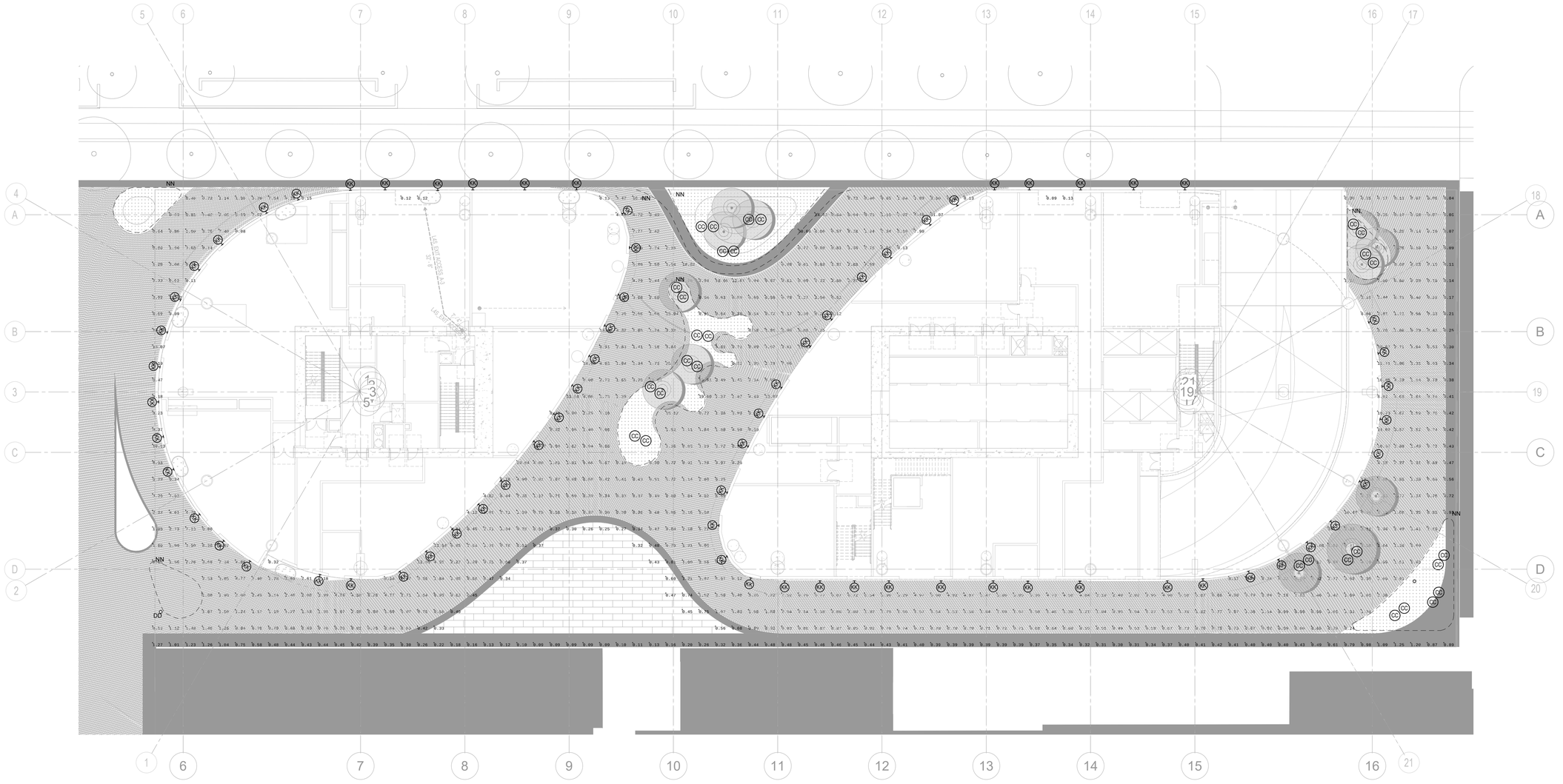

Luminaire Schedule					
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	32	LED-e66-MFL-12-ITL85922	0.850	BK LIGHTING, TREE DOWNLIGHT, 458 LUMENS, 7W	CC
	72	LOG HO-100_277-24-30K-WW(X)F-	0.850	LUMENPULSE LIGHTING, LUMENFACADE NANO HORIZONTAL, 2 FT	KK
	2	ullc100-70w64led3k-g2-lev5	0.850	LUMEC SOLECITY, LIGHT COLUMN, 16FT	DD

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE LIGHTING	Illuminance	Fc	2.61	30.69	0.04	65.25	767.25

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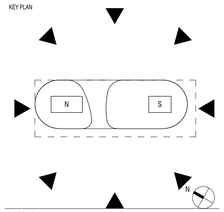

BAR SCALE

SHEET NAME

SITE LIGHTING PLAN - PHOTOMETRY

PROJECT NO

SHEET NO

DOB NO

SCALE 1/16" = 1'-0"

FORMAT ARCH D

DATE

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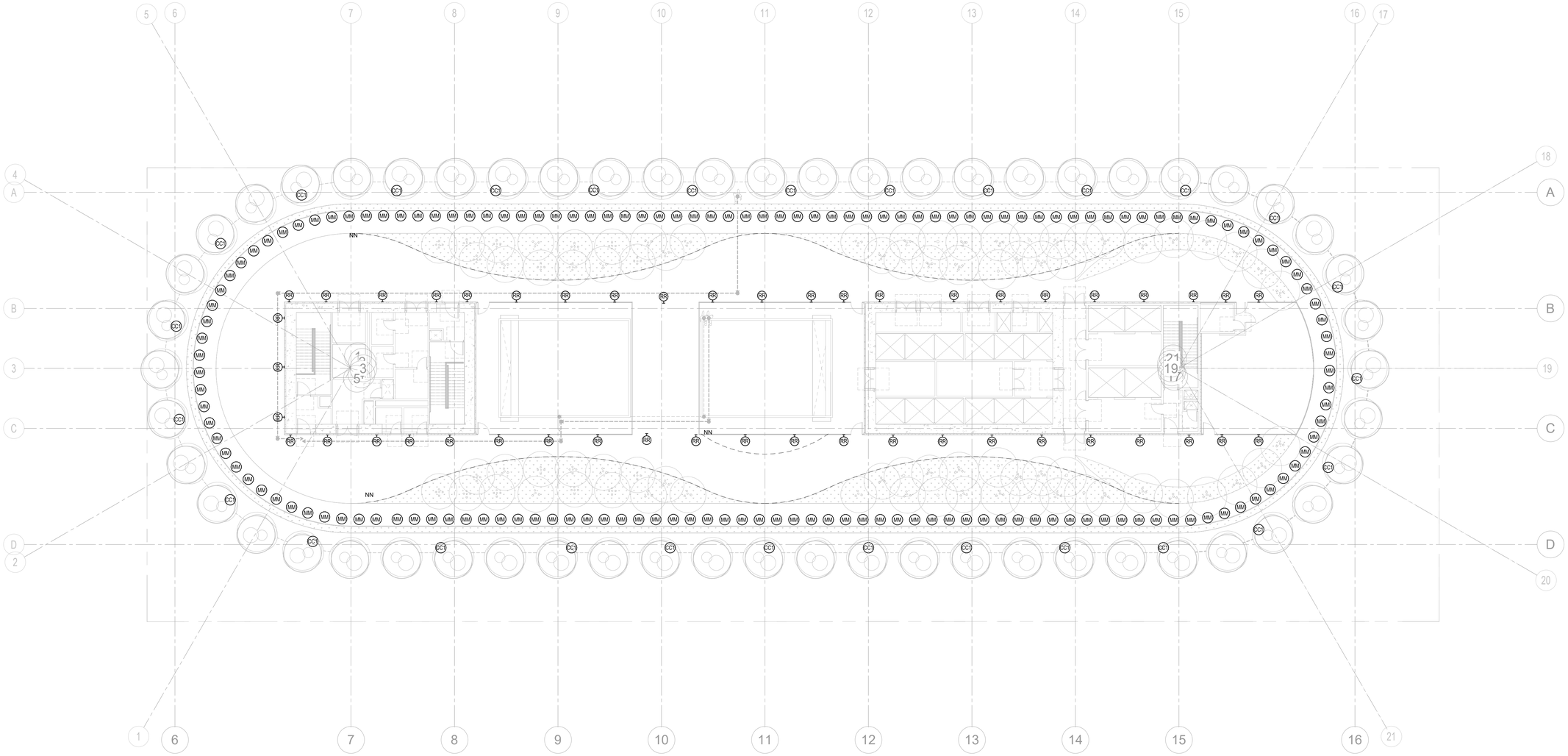

Luminaire Schedule					
Symbol	Qty	Label	LLF	Description	Tag
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	151	LPOD40-Dir-PCLens-AsymRefW-LP	0.850	KLIK LIGHITNG, HANDRAIL POD, 2W, 141 LUMENS	MM
	48	24502_BEGA_IES	0.850	BEGA LIGHTING, WALL SCONCE, MH-14FT, 17W, 1217 LUMENS	RR
	27	S3010W	0.850	SISTEMALUX LIGHTING, TREE DOWNLIGHT, MOVIT ARM, 12.6W, 765 LUMENS	CC1

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Roof Lighting	Illuminance	Fc	4.93	86.30	0.06	82.17	1438

2020-11-16 9:58:17 AM

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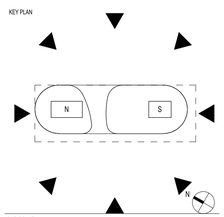


BAR SCALE

SHEET NAME

ROOF LIGHTING PLAN

PROJECT NO

SHEET NO

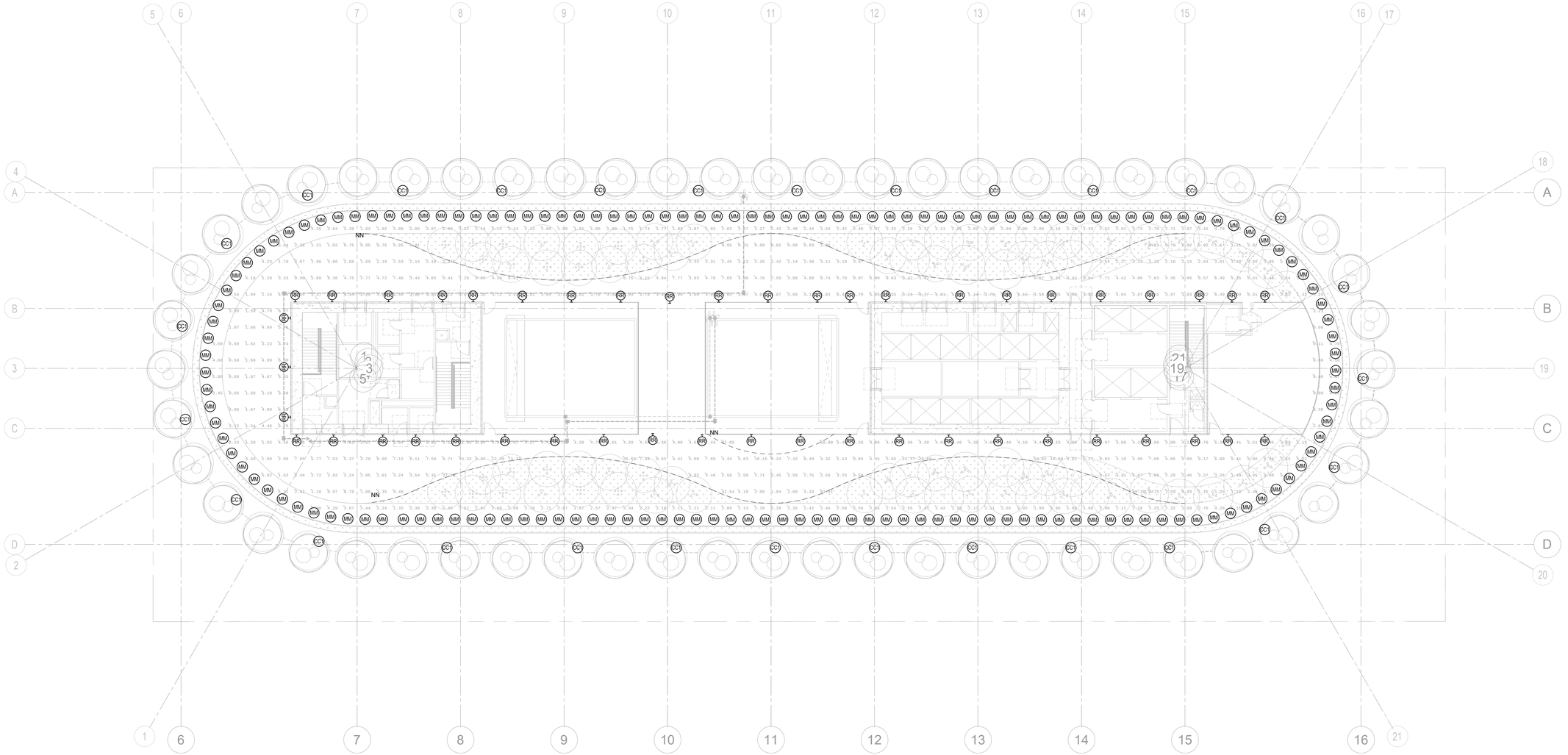
DOB NO

SCALE
1/16" = 1'-0"

FORMAT
ARCH D

DATE

E-505



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Symbol	Qty	Label	LLF	Description	Tag
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Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Roof Lighting	Illuminance	Fc	4.93	86.30	0.06	82.17	1438

2020-11-16 9:58:24 AM

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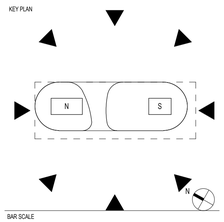

BAR SCALE

SHEET NAME

ROOF LIGHTING PLAN - PHOTOMETRY

PROJECT NO

DOB NO

SCALE
1/16" = 1'-0"

FORMAT
ARCH D

DATE

SHEET NO

E-505a

TREANORHL

MEMORANDUM

PROJECT: Fountain Alley Project
Design Alternatives

TO: Fiona Phung, David J. Powers & Associates
Shannon George, David J. Powers & Associates

FROM: Kimberly Butt, TreanorHL
Hisashi Sugaya
Aysem Kilinc

DATE: May 9, 2022

ITEM	DISCUSSION	ACTION

1.1 Introduction

TreanorHL previously evaluated the proposed design for the Fountain Alley project in downtown San Jose. The project involves new construction on a paved parking lot (APN 467-22-121) within the boundaries of the San Jose Downtown Commercial Historic District which is listed on the National Register of Historic Places (NRHP). The report completed in May 2021 included a compliance review to the Secretary of the Interior's Standards for Rehabilitation (the Standards), and an evaluation of the proposed design for compliance to the Downtown San José Historic District Guidelines (2003), and the San José Downtown Design Guidelines and Standards (2019, updated 2020).

After TreanorHL's evaluation, a number of alternatives to the proposed project were proposed. Two alternatives addressed the need for project designs that complied with the standards and guidelines above resulting in no, or lesser impacts to historic resources than the proposed project. TreanorHL received two alternatives for the Fountain Alley project designed by the architecture firm Bjarke Ingels Group (BIG) for the real estate development company Westbank.[1] This memorandum provides brief evaluation of the alternatives for compliance with the applicable guidelines and standards.

1.2 Option 2

The design alternative identified as "Option 2: Full Compliance" in the April 2022 document includes two four-story, 60 feet tall buildings on the subject lot. The building to the north steps down to 40 feet towards Fountain Alley. A 10-foot-wide alleyway separates the buildings. The building masses are rectilinear with minor articulation along S. 2nd Street and Fountain Alley. This alternative provides 11,430 square feet of open area at grade, 42,200 square feet of retail space, and 123,300 square feet of office space.

[1] BIG and Westbank, *35 South 2nd Ave, EIR – Historic District Design Alternates* (April 2022).

ITEM DISCUSSION ACTION

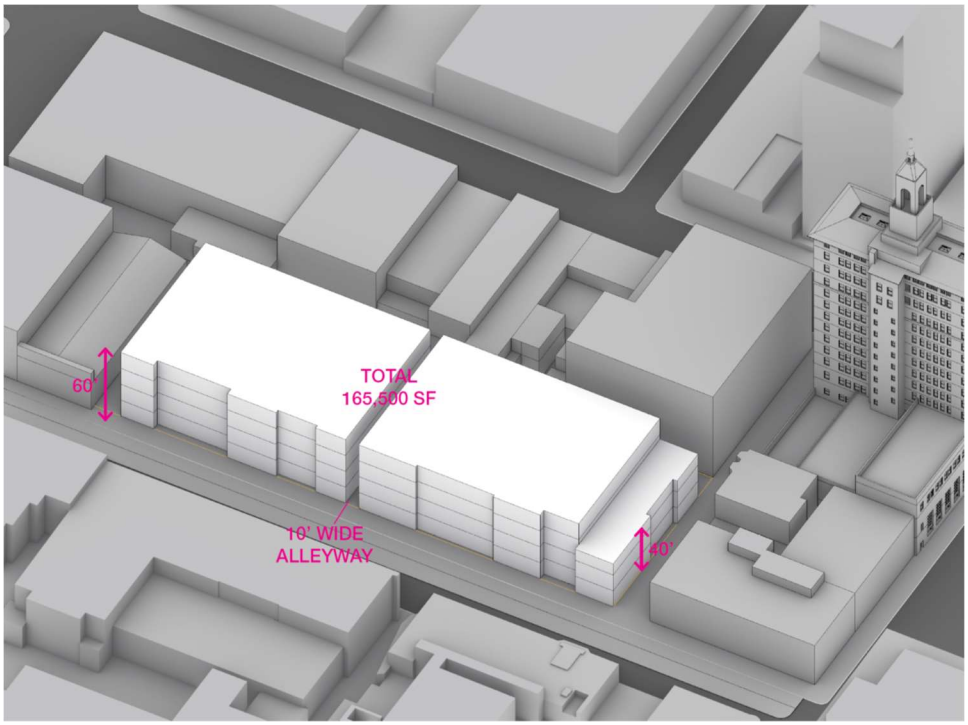

Figure 1. The proposed design alternative Option 2 (BIG, April 2022).

Secretary of the Interior's Standards

Standard 9 Analysis. Option 2 will be compatible with the historic district in terms of size, scale, proportion, and massing. The historic district features one- to three-story commercial buildings except for the Bank of Italy tower. The district contributors often have rectilinear footprints and occupy the entire width of their lots creating continuous street walls. Option 2 features two four-story, 60-foot-tall buildings; the north building steps down to 40 feet along Fountain Alley. The proposed buildings are roughly rectangular in plan with minor articulation along S. 2nd Street and Fountain Alley. Providing a continuous streetwall, it appears that the S. 2nd Street facing east façades are broken up into five sections consistent with the widths of the adjacent historic buildings. The overall height, massing, proportion, and scale of Option 2 complies with the characteristics of the historic district.

The proposed alternative does not provide any information on the design, materials, or features; therefore, TreanorHL cannot provide a comprehensive opinion on Standard 9.

Standard 10 Analysis. Option 2 will add two four-story buildings on a noncontributing parcel within the historic district. The essential form of the historic district and its environment would be unimpaired if the buildings are removed in the future. Therefore, the proposed Option 2 complies with Standard 10.

In summary, while Option 2 is compatible with the historic district in terms of size, scale, proportion, and massing, the drawings do not provide any information of the design, features, or materials, so the evaluation of Standard 9 is inconclusive. Option 2 complies with Standard 10.

ITEM DISCUSSION ACTION

Downtown San José Historic District Guidelines (2003)

Building Height. The buildings are four stories above grade, reaching 60 feet. The building height that fronts onto Fountain Alley is 30 feet. Option 2 complies with this guideline.

Corner Element. The proposed massing does not feature a corner element; therefore, it does not comply with this guideline.

Massing. Option 2 includes two buildings separated by a 10-foot-wide alleyway. The proposed massing responds to the existing character of the district with the buildings' rectangular footprints and three- to four-story building heights. The east facades facing S. 2nd Street are articulated to form narrower segments; reflecting the historic buildings which are divided into multiple bays with pilasters. As proposed, Option 2 complies with this guideline.

Setbacks and Stepbacks. The buildings proposed as Option 2 are at the property line on S. 2nd Street and Fountain Alley sides with minimal setbacks to articulate the facades. It appears that the proposed buildings are set back at the rear (west) and south property lines. The new buildings do not have any stepbacks. Overall, Option 2 does not fully comply with this guideline.

Pedestrian Passageways. As encouraged by the guidelines, a 10-foot-wide alleyway runs from east to west between two buildings. The guideline also recommends passageways to be lined with retail storefronts and/or active display cases; however, the submitted drawing of Option 2 does not include any information on the facades; therefore, the analysis cannot be completed.

Façade, Rear Facades, Openings, Entries, Exterior Material, Ground Floors, Vehicular Access, Parking. The proposed alternative only provides a massing diagram and does not include any information on the facades, openings, entries, materials, ground floors, access, and parking; therefore, TreanorHL cannot comment on these guidelines.

In summary, Option 2 does not comply with the corner element, and setbacks and stepbacks guidelines. The drawing does not provide sufficient information to provide opinion on the façade, rear facades, openings, entries, exterior material, ground floors, vehicular access, and parking guidelines.

San Jose Downtown Design Guidelines and Standards (2019, updated 2020)

4.2.2 Massing Relationship to Context.

a) Height transition. Not applicable since the proposed buildings are less than 100 feet tall.
b) Width transition. The subject lot is adjacent to and across the street from multiple historic buildings that are 45 feet tall or less, and more than 30 feet narrower than the new buildings (the widths range from approximately 30 to 70 feet). The S. 2nd Street and Fountain Alley facing massing is divided into multiple segments. Even

ITEM	DISCUSSION	ACTION

though the drawing does not provide dimensions, it appears that the segments are within the recommended range. Option 2 complies with this standard.

c) Rear transition. Not applicable since the proposed buildings are less than 100 feet tall.

4.2.4 Historic Adjacency.

Massing

a) The drawings are not detailed enough to define a podium level; therefore, this analysis is inconclusive.
b) The buildings have rectilinear forms; therefore, Option 2 complies with this standard.
c) No information is provided for this analysis.
d) Option 2 maintains the streetwall continuity with Historic Context buildings that are on the same side of S. 2nd Street; therefore, Option 2 complies with this standard.

Façade

e) The facades of new buildings are articulated to create multiple divisions that appear to be similar to Historic Context buildings. Option 2 complies with this standard.
f) No information is provided for this analysis.
g) No information is provided for this analysis.

Elements

h) No information is provided for this analysis.
i) No information is provided for this analysis.

Ground Floor

j) No information is provided for this analysis.
k) The ground floor height appears to be compatible with the nearby Historic Context buildings; therefore, Option 2 complies with this standard.

In summary, Option 2 complies with the standard "b. Width transition" of Guideline 4.2.2, standards Massing b, and d; Façade e; and Ground Floor k of Guideline 4.2.4. The drawing does not provide sufficient information to evaluate other applicable 2019 Guidelines and Standards.

1.3 Option 3

The design alternative identified as "Option 3: Partial Compliance" in the April 2022 document includes two towers on the subject lot. The north tower rises to 267 feet over a 40- to 60-foot-tall podium. The south tower is 217 feet tall with a 40 feet transitional massing to the south. The towers are separated by a 10-foot-wide alleyway. The building masses are rectilinear with articulated facades along S. 2nd Street. This alternative provides 11,430 square feet of open area at grade, 42,900 square feet of retail space, 250,818 square feet of office space, and 207,480 square feet of residential space.

ITEM DISCUSSION ACTION

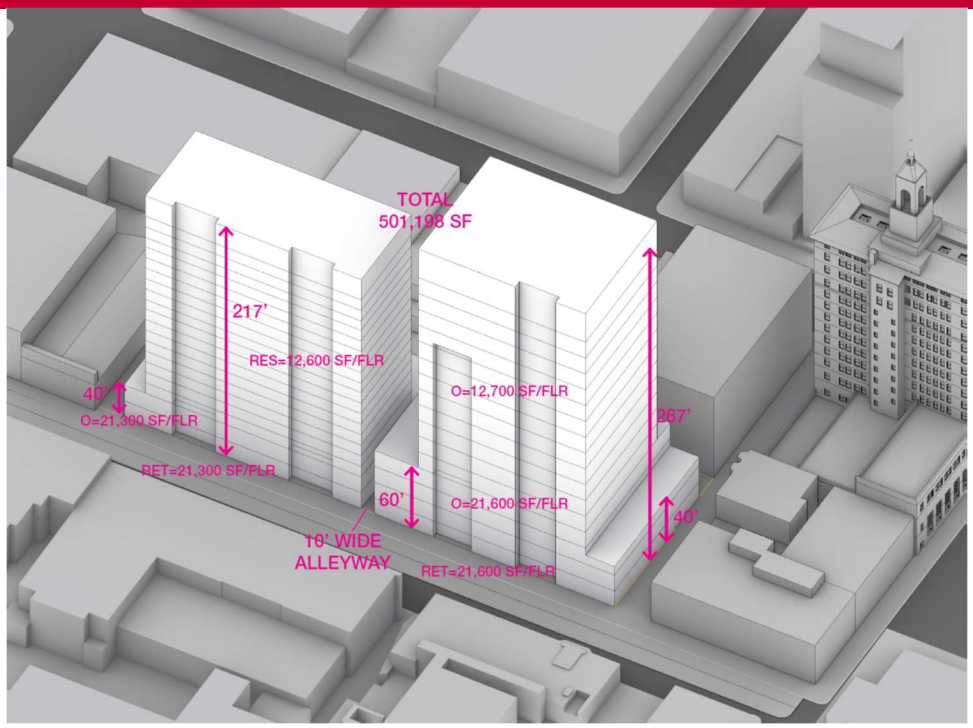

Figure 2. The proposed design alternative Option 3 (BIG, April 2022).

Secretary of the Interior's Standards

Standard 9 Analysis. Option 3 will not be compatible with the historic district in terms of size, scale, and proportion. The historic district features one- to three-story commercial buildings except for the Bank of Italy tower. The district contributors often have rectilinear footprints and occupy the entire width of their lots creating continuous street walls. Even though the proposed towers are rectilinear, create a continuous streetwall along S. 2nd Street, and articulated to have narrower divisions consistent with the scale of the historic buildings, the overall height, proportion, and scale of Option 3 is far greater than those characteristics of the historic district.

The proposed alternative does not provide any information on the design, materials, or features; therefore, TreanorHL cannot provide a comprehensive opinion on Standard 9.

Standard 10 Analysis. Option 3 will add two towers on a noncontributing parcel within the historic district. The essential form of the historic district and its environment would be unimpaired if the towers are removed in the future. Therefore, the proposed Option 3 complies with Standard 10.

In summary, Option 3 is not compatible with the historic district in terms of size, scale, and proportion; the drawings do not provide any information of the design, features, or materials, so the evaluation of Standard 9 is inconclusive. Option 3 complies with Standard 10.

ITEM	DISCUSSION	ACTION

Downtown San José Historic District Guidelines (2003)

Building Height. At 217 and 267 feet, the proposed towers exceed the recommended 60 feet building height. The building height that fronts onto Fountain Alley is 40 feet. Option 3 does not comply with this guideline.

Corner Element. The proposed massing does not feature a corner element; therefore, it does not comply with this guideline.

Massing. Option 3 includes two towers separated by a 10-foot-alleyway. The proposed massing responds to the existing character of the district with the buildings' rectangular footprints and segmentation of the S. 2nd Street facing facades. As proposed, Option 3 complies with this guideline.

Setbacks and Stepbacks. The towers proposed as Option 3 are at the property line on S. 2nd Street and Fountain Alley sides with minimal setbacks to articulate the facades. It appears that both towers are set back at the rear (west) and south property lines. Overall, the project does not fully comply with this guideline.

Pedestrian Passageways. As encouraged by the guidelines, a 10-foot-wide alleyway runs from east to west between two towers. The guideline also recommends passageways to be lined with retail storefronts and/or active display cases; the submitted drawing of Option 3 does not include any information on the facades; therefore, the analysis cannot be completed.

Façade, Rear Facades, Openings, Entries, Exterior Material, Ground Floors, Vehicular Access, Parking. The proposed alternative only provides a massing diagram and does not include any information on the facades, openings, entries, materials, ground floors, access, and parking; therefore, these analyses cannot be completed.

In summary, Option 3 does not fully comply with the building height, corner element, and setbacks and stepbacks guidelines. The drawing does not provide sufficient information to complete the analysis of the façade, rear facades, openings, entries, exterior material, ground floors, vehicular access, and parking guidelines.

San Jose Downtown Design Guidelines and Standards (2019, updated 2020)

4.2.2 Massing Relationship to Context.

a) Height transition. Reaching above 200 feet, Option 3 does not comply with this standard since the towers do not step back from the front parcel line along S. 2nd Street.
b) Width transition. The subject lot is adjacent to or across the street from multiple historic buildings that are 45 feet tall or less, and more than 30 feet narrower than the new towers (the widths range from approximately 30 to 70 feet). The street-facing massing of the proposed towers is divided into multiple segments along S. 2nd Street; however, it appears monolithic on the Fountain Alley side. Option 3 does not fully comply with this standard.

ITEM	DISCUSSION	ACTION

c) Rear transition. The new towers are across a parcel line or interior to a block from multiple historic buildings that are 45 feet tall or less. It is not clear from the drawing if new towers maintain a transitional height at the rear (west) property line.

4.2.4 Historic Adjacency.

Massing

a) The proposed podium level appears to be at 40 to 60 feet which relates to the scale of the Historic Context buildings; therefore, Option 3 complies with this standard.
b) The buildings have rectilinear forms; therefore, Option 3 complies with this standard.
c) No information is provided for this analysis.
d) Option 3 maintains the streetwall continuity with Historic Context buildings that are on the same side of S. 2nd Street; therefore, Option 3 complies with this standard.

Façade

e) The front (east) facades of new towers are articulated to create multiple divisions that appear to be similar to Historic Context buildings on S. 2nd Street. The Fountain Alley facing north façade does not appear to be articulated. Option 3 does not fully comply with this standard.
f) No information is provided for this analysis.
g) No information is provided for this analysis.

Elements

h) No information is provided for this analysis.
i) No information is provided for this analysis.

Ground Floor

j) No information is provided for this analysis.
k) The ground floor height appears to be compatible with the nearby Historic Context buildings; therefore, Option 3 complies with this standard.

In summary, Option 3 does not comply with the standards a, b, and c of Guideline 4.2.2. It complies with the standards Massing a, b, and d; Façade e; and Ground Floor k of Guideline 4.2.4. The drawing does not provide sufficient information to complete the analysis of all applicable 2019 Guidelines and Standards.

END OF MEMORANDUM